



WEST VALLEY
STRUCTURAL CO.



Property Inspection Report



407 Sample Ave, Millbrae, CA 94030

Inspection prepared for:

Real Estate Agent: Sample Sample - Sample Real Estate

Date of Inspection: 10/19/2022 Time: 9:00 AM

Age of Home: 1949/ 73 Years of Age Size: Approx: 1,030 Sq. Ft.

Inspector: Chester R. Gavarrete Jr.

NACHI12101601/ Contractors Lic: A.B. 570208

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<http://westvalleyinspections.com/>

Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

* Items listed in this report may inadvertently have been left off the Summary Sheet. Customer should read the entire report, including the Remarks.

Garage		
Page 16 Item: 2	Walls	<ul style="list-style-type: none"> • The common wall between the garage and home has damage, improperly covered areas, and/ or missing. Fire potential to the home is at a greater risk. Recommend repairing or installing the proper fire rated wall.
Page 18 Item: 7	Exterior/ Service Door	<ul style="list-style-type: none"> • We noted a door which opened directly to a step; this installation is noted as a potential safety hazard/ concern. A door should not open to a step and should open to a landing/ flat area. We recommend changing door swing or contact a licensed professional to repair/ replace as needed.
Page 19 Item: 8	Fire Door	<ul style="list-style-type: none"> • The automatic closure device is missing. This could allow a fire to enter the home and is considered a SAFETY HAZARD. Recommend contacting a licensed door contractor to repair/ replace as needed. • We noted a fire door which opened directly to a step; this installation is noted as a potential safety hazard/ concern. A door should not open to a step and should open to a landing/ flat area. We recommend contacting a licensed professional to repair/ replace as needed
Page 21 Item: 14	Stairs & Handrail	<ul style="list-style-type: none"> • Grab bar/ railing was missing and/ or nonconforming this is noted as a potential safety hazard/ concern. We recommend contacting a licensed professional to repair/ improve as needed. • The upper landing was poorly installed or installed in a substandard manner (built around water heater/ landing does not have proper measurements), recommend improving/ replacing as needed.
Kitchen		
Page 26 Item: 11	Electrical	<ul style="list-style-type: none"> • Extension cord wiring was noted this appears to be due to the lack of receptacles/ outlets present at the time of inspection. We recommend contacting a licensed professional to improve as needed. Extension cord wiring is noted as a potential safety concern.
Bathrooms		
Page 29 Item: 7	Floor Condition	<ul style="list-style-type: none"> • Threshold type at the hallway bathroom was noted as a potential trip hazard, we recommend improving/ updating as needed.
Attic		
Page 37 Item: 4	Electrical	<ul style="list-style-type: none"> • Certain receptacles showed signs of open ground this is noted as a potential hazard recommend repairing/ replacing as needed.
Water Heater		
Page 51 Item: 10	TPRV	<ul style="list-style-type: none"> • Temperature-Pressure relief valve extension needs to be 4"-6" off of the floor - this is a Safety Concern.
Electrical		
Page 52 Item: 1	Electrical Panel	<ul style="list-style-type: none"> • Please be advised we observed older panels in the garage which were converted to junction boxes. This is noted as a typical alteration however the old panels should be labeled as junction boxes and the covers need to be properly secured (screw). The current condition of these units are noted as a potential safety hazard (not labeled, cover not secured) recommend improving/ updating as needed.

Inspection Details

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

CONVENTIONS USED IN THIS REPORT

GOOD/ SATISFACTORY - Indicates the component is functionally consistent with its original purpose but may show signs of normal wear and tear and deterioration.

FAIR/ MARGINAL - Indicates the component will probably require adjustment, maintenance, repair and/ or replacement.

POOR - Indicates the component will need repair or replacement now or in the very near future.

MAJOR CONCERNS - A system or component that is considered significantly deficient or is unsafe.

SAFETY HAZARD/ SAFETY CONCERN - Denotes a condition that is unsafe and in need of prompt attention.

The SCOPE OF THIS INSPECTION

All Components designated for inspection in the InterNACHI standards of practice are inspected, except as may be noted in the "Limitations" section within the report. This inspection will not disclose compliance with regulatory requirements (codes, regulation laws, ordinances, etc.)

This inspection is visual only. Only a representative sample of the building and system components was viewed. No destructive testing or dismantling of building components was performed. The strength, adequacy, effectiveness, or efficiency of any system or components was not determined. Not all recommended improvements will be identified in this inspection. Unexpected repairs should still be anticipated. This inspection should not be considered a guarantee or warranty of any kind. The purpose of our inspection is to provide a general overview of the structure reflecting the conditions present at the time of this inspection. The inspection is performed by visual means only, reflecting only the opinions of the inspector. Nothing in the report, and no opinion of the inspector, should be construed as advice to purchase, or to not purchase, the property. It is the goal of this inspection to put the buyer in a better position to make a buying decision. Our inspection does not address, and is not intended to address, the possible presence of hazardous plants or animals or danger from known and unknown environmental pollutants such as, but not limited to, asbestos, mold, radon gas, lead, urea formaldehyde, underground storage tanks, soil contamination and other indoor and outdoor substances, water contamination, toxic or flammable chemicals, water or airborne related illness or disease, and all other similar or potentially harmful substances and conditions. This property was not inspected for the presence or absence of health related molds or fungi. We are neither qualified, authorized nor licensed to inspect for health related molds or fungi. If you desire information about the presence or absence health related molds, you should contact the appropriate specialist. Be aware that many materials used in building construction may potentially contain hazardous substances. Furthermore, other environmental concerns may exist elsewhere. An environmental specialist should be contacted if additional information is desired about these issues..

For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. **Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.**

PLEASE NOTE: Important disclosure information and other inspection reports may exist. All present and prior disclosures along with other inspection reports should be reviewed and any adverse conditions and/or concerns that may not be mentioned in our report should be addressed prior to the close of escrow. Furthermore, there may be conditions known by the seller that have not been disclosed to us.

Pictures are provided to assist in clarifying some of the findings made in the report. No relative importance should be placed on these pictures. There are likely to be significant comments that do not have pictures associated with them.

Please read the report thoroughly. Sections of this building appear to have been remodeled/ Repaired. We recommend consultation with the owner or local municipality to determine whether the necessary permits were pulled, inspections performed and final signatures obtained. Please note this report may be part of a combo of inspection package please refer to any/ all other reports present for additional information including WDO Inspection. WDO findings/ recommendations are excluded from this report. Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

1. Attendance

In Attendance: Seller present

2. Home Type

Home Type: Detached • Single Family Home

3. Occupancy

Occupancy: Occupied - Furnished: Moderate to heavy personal and household items observed. • The utilities were on at the time of inspection. • Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

4. Main Entrance Faces

Main Entrance Faces: SW

5. House in Perspective

House in Perspective: Well Built, Well Maintained, Normal Repairs/ Updates Needed.

6. Weather Condition

Weather Condition: Sunny
Recent Rain: No

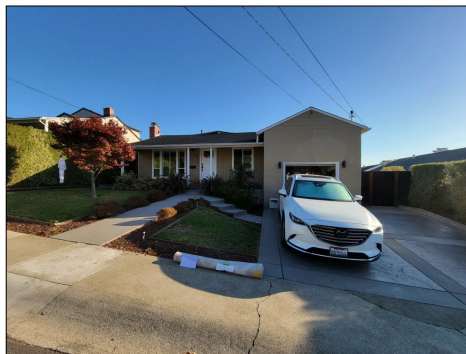
7. Temperature

Temperature: 75°F+
Ground Cover: Dry

8. Front and Rear View of the Home

Good	Fair	Poor	N/A	None
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Observations:
• Front View of the Property



Front View of the Property

Grounds

Inspectors shall inspect adjacent or entryway walkways, patios, and driveways; stoops, steps porches and their associated railings, any attached decks and balconies vegetation, grading, and surface drainage, that are likely to adversely affect the building.

This inspection is not intended to address or include any geological conditions or site stability information. We do not comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this can only be confirmed by a geological evaluation of the soil. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. We cannot determine drainage performance of the site or the condition of any underground piping, including subterranean drainage systems and municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. Any areas too low to enter or not accessible are excluded from the inspection. We do not evaluate any detached structures such as storage sheds and stables, nor mechanical or remotely controlled components such as driveway gates. We do not evaluate or move landscape components such as trees, shrubs, fountains, ponds, statuary, pottery, fire pits, patio fans, heat lamps, and decorative or low-voltage lighting. Retaining walls are typically excluded from this report. Any such mention of these items is informational only and not to be construed as inspected.

1. Grading

Good	Fair	Poor	N/A	None
X				

Observations:

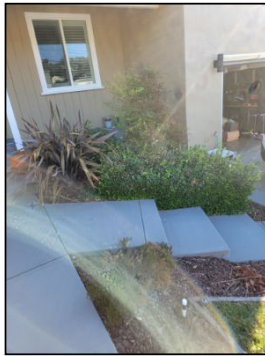
- No major system safety or function concerns noted at time of inspection.
- Lot grading and drainage have a significant impact on the building, simply because of the direct and indirect damage that moisture can have on the foundation. It is very important, therefore, that surface runoff water be adequately diverted away from the home. Lot grading should slope away and fall a minimum of one (1) inch every foot for a distance of six (6) feet around the perimeter of the building.
- While performance of lot drainage and water handling systems may appear serviceable at the time of inspection, the inspector cannot always accurately predict this performance as conditions constantly change. Furthermore, items such as leakage in downspout/gutter systems are very difficult to detect during dry weather. Inspection of foundation performance and water handling systems, therefore, is limited to visible conditions and evidence of past problems.

2. Vegetation Observations

Good	Fair	Poor	N/A	None
	X			

Observations:

- Attached planter box/es are noted as a **WDO** attraction point party of interest should consider removing as needed.
- Maintenance Tip: When landscaping, keep plants, even at full growth, at least a foot (preferably 18 inches) from house siding and windows. Keep trees away from foundation and roof. Plants in contact or proximity to home can provide pathways for wood destroying insects, as well as abrade and damage siding, screens and roofs.
- Recommend trimming vegetation away from the home as needed.



Attached planter box/es are noted as a WDO attraction point party of interest should consider removing as needed.



Maintenance Tip: When landscaping, keep plants, even at full growth, at least a foot (preferably 18 inches) from house siding and windows. Keep trees away from foundation and roof. Plants in contact or proximity to home can provide pathways for wood destroying insects, as well as abrade and damage siding, screens and roofs.

3. Driveway and Walkway Condition

Good	Fair	Poor	N/A	None
	X			

Materials: Concrete driveway noted. • Concrete walkways noted.

Observations:

- Typical cracking was noted to the driveway and/ or walkway repair/ replace as needed.
- IMPROVE: Typical cracking was observed at the concrete surfaces. Further deterioration will occur as water expands and contracts. Recommend sealing the cracks to prolong the life of the concrete.



Typical cracking was noted to the driveway and/ or walkway repair/ replace as needed.

4. Fence and Gates Condition

Good	Fair	Poor	N/A	None
			X	

Observations:

- Fences and gates are NOT INCLUDED as part of a home inspection. Recommend confirming that all fences and gates are in serviceable condition before the close of escrow.

5. Main Gas Valve Condition

Good	Fair	Poor	N/A	None
X				

Location: Exterior of structure.

Observations:

- Main gas shut off valve.
- Recommend contacting the Local Utility company to service the Gas meter and related components as needed this is mentioned as information only and is considered part of normal maintenance.
- Recommend contacting PG&E to perform complete gas leak test due to the age of the house this is a important recommendation.
- An excellent tool to keep handy for dealing with gas leaks, fire safety, and other disasters or emergencies is emergency gas shut off wrench.



Recommend contacting the Local Utility company to service the Gas meter and related components as needed this is mentioned as information only and is considered part of normal maintenance.



Main gas shut off valve.

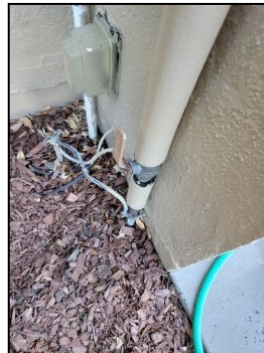
6. Main Water Valve Condition

Good	Fair	Poor	N/A	None
X				

Location: Exterior of structure.

Observations:

- Valve was in overall serviceable condition at the time of inspection.



Valve was in overall serviceable condition at the time of inspection.

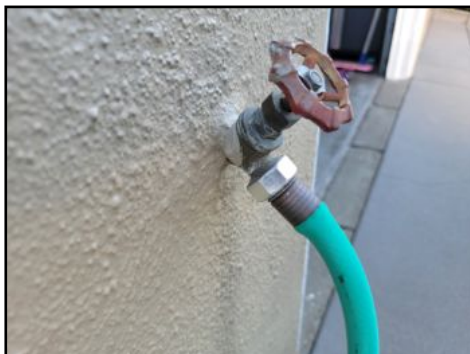
7. Exterior Faucet/ Hose Bibs Condition

Good	Fair	Poor	N/A	None
	X			

Observations: Representative number of Exterior Faucet/ Hose Bibs tested.

Observations:

- Appears to be leaking at valve seal when in the open position, recommend repair for water conservation and to prevent possible water damage to structure/water intrusion if the hose is left on for extended period.
- Hose bib(s) not equipped with anti-siphon devices, possible cross-contamination. Recommend licensed plumber install as needed.



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Appears to be leaking at valve seal when in the open position, recommend repair for water conservation and to prevent possible water damage to structure/water intrusion if the hose is left on for extended period.

8. Plumbing

Good	Fair	Poor	N/A	None
X				

Materials: Copper piping noted.

Observations:

- Recommend contacting a licensed plumber/ drainage contractor to service and test the exterior drains to confirm proper functionality.
- Sewer line—Due to the age of this home I recommend a sewer line inspection. This separate inspection will show the condition of the buried sewer line from the home to the city main. Items such as tree roots, broken drain pipes, and other obstructions will be revealed. A qualified plumber with a sewer camera sewer rodding machine can inspect.



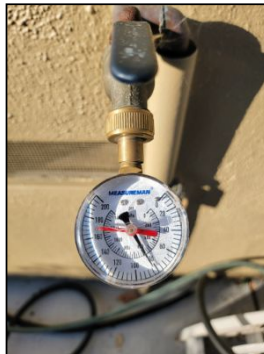
Recommend contacting a licensed plumber/ drainage contractor to service and test the exterior drains to confirm proper functionality.

9. Water Pressure

Good	Fair	Poor	N/A	None
X				

Observations:

- 70-80 PSI



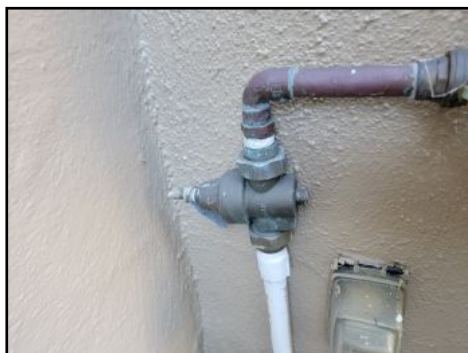
70-80 PSI

10. Pressure Regulator

Good	Fair	Poor	N/A	None
X				

Observations:

- Pressure regulator noted.



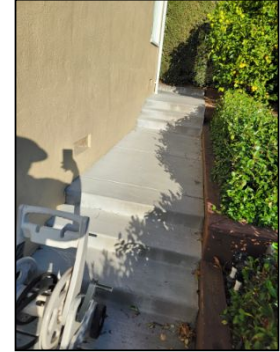
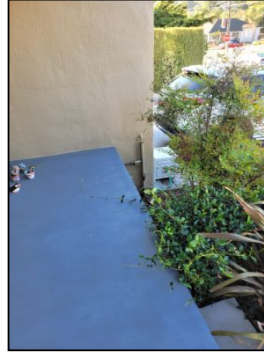
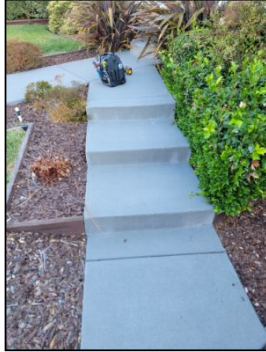
Pressure regulator noted.

11. Stairs & Handrail

Good	Fair	Poor	N/A	None
	X			

Observations:

- Although railings are not required with drop-offs less than 30" above grade and stairs with 3 or less risers - we recommend considering your own personal needs and those of your family and guests. By today's standards, balusters (spindles) at decks and steps should be spaced no more than 4" apart for the safety of small children,



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12. Patio Material

Good	Fair	Poor	N/A	None
X				

Materials: Concrete Patio

Observations:

- No major system safety or function concerns noted at time of inspection.

13. Grounds Electrical

Good	Fair	Poor	N/A	None
	X			

Observations:

- Damaged receptacles was noted at the time of inspection (rear of the home), recommend repairing/ improving as needed.



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14. GFCI

Good	Fair	Poor	N/A	None
	X			

Observations:

- **GFCI** receptacles are in good condition.
- GFCI: Ground Fault Circuit interrupter .
- Damaged GFCI was noted at the rear of the home, recommend repairing/ improving as needed.

15. Retaining Wall

Materials: Retaining wall is not part of this inspection.

16. General Info

Good	Fair	Poor	N/A	None
	X			

Observations:
• Evidence of damp wood termite swarmer (died) was noted at the front of the home (at light fixture), no evidence of active or damage was noted. We do recommend referring to the WDO report for additional information and/ or recommendation as needed.



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Exterior Areas

This section describes the exterior wall coverings and trim. Inspectors are required to inspect the exterior wall coverings, flashing, trim, all exterior doors, windows, soffits and fascia's accessible from ground level. Areas inaccessible for inspection due to attached structures, storage, and general limitations will be noted and excluded from this report.

1. Gutter

Good	Fair	Poor	N/A	None
X				

Observations:

- Recommend considering adding a clean out to the gutter drain as needed.
- Recommend properly cleaning/ servicing gutters as needed.
- MAINTENANCE TIP: Make sure to periodically check and clean out debris from gutters to keep it flowing well when it rains. If it clogs, it will over flow, and may potentially cause roof leaks.



Recommend considering adding a clean out to the gutter drain as needed. Recommend properly cleaning/ servicing gutters as needed.

2. Stucco

Good	Fair	Poor	N/A	None
	X			

Observations:

- Exterior stucco showed signs of typical cracking and/ or sealed cracks recommend sealing/ monitoring/ repairing/ replacing as needed.
- Stucco siding was missing a proper weep screed this is noted as a typical condition for homes of this area and of this age and is mentioned as information only.



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3. Siding/ Trim Condition

Good	Fair	Poor	N/A	None
	X			

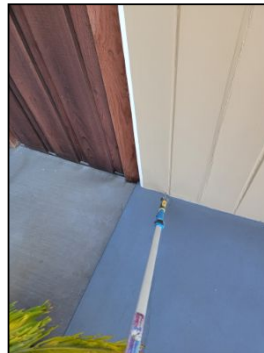
Materials: Stucco • Wood

Observations:

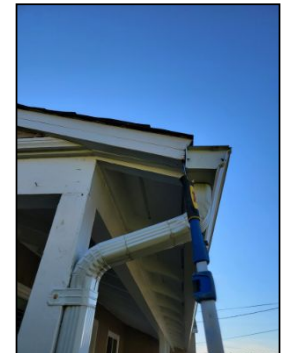
- Rotted/ damaged wood noted at the time of inspection refer to the WDO report for additional information and/ or recommendations as needed.
- Wood or wood-like materials present. These materials are subject to moisture damage and weathering to a greater extent than other siding materials, as well as infestation by wood-destroying pests and organisms. Notwithstanding anything noted in this report, recommend further evaluation by licensed pest control professional, repair or replacement as needed, and regular homeowner monitoring and maintenance thereafter
- Moisture stains was noted to the trim/ girder below the roof in the front porch area, this maybe indicating a potential roof leak. We recommend monitoring and/ or repairing/ improving as needed.



Rotted/ damaged wood noted at the time of inspection refer to the WDO report for additional information and/ or recommendations as needed.



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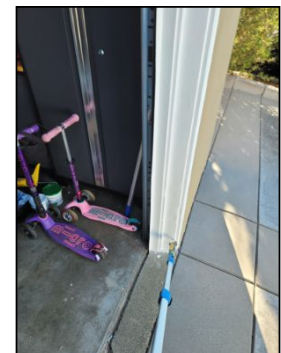
Rotted/ damaged wood noted at the time of inspection refer to the WDO report for additional information and/ or recommendations as needed.



Moisture stains was noted to the trim/ girder below the roof in the front porch area, this maybe indicating a potential roof leak. We recommend monitoring and/ or repairing/ improving as needed.



Rotted/ damaged wood noted at the time of inspection refer to the WDO report for additional information and/ or recommendations as needed.



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Rotted/ damaged wood noted at the time of inspection refer to the WDO report for additional information and/ or recommendations as needed.

4. Exterior Paint

Good	Fair	Poor	N/A	None
X				

Observations:

- Exterior areas of property appear to have been recently painted. New paint or patch work may conceal evidence of infestation, infection or damage. No guarantees or warranties are either expressed or implied regarding conditions concealed by new paint or patch work.

- Bubbling paint observed, suggest scraping and painting as necessary.
- Maintenance Recommendation: Recommend painting/ sealing/ maintaining exterior walls/ trim as needed.
- Maintenance Recommendation: Recommend caulking/ sealing around windows/ doors/ masonry ledges/ corners/ utility penetration as needed.
- Approximately 3/4 of the homes built before 1978 (about 64 million homes) contain some lead-based paint. For more information, refer to the the local Dept. of Environmental Health or a hazardous materials contractor for further information as needed.



Bubbling paint observed, suggest scraping and painting as necessary.

5. Doors

Good	Fair	Poor	N/A	None
X				

6. Window/ General Screen Condition

Good	Fair	Poor	N/A	None
X				

Observations:

- Components appeared in satisfactory condition at time of inspection.
- No major system safety or function concerns noted at time of inspection.

Roof

As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing the deal. Although not required to, we generally attempt to evaluate various roof types by walking on their surfaces. If we are unable or unwilling to do this for any reason, we will indicate the method used to evaluate them. Every roof will wear differently relative to its age, number of layers, quality of material, method of application, exposure to weather conditions, and the regularity of its maintenance. We can only offer an opinion of the general quality and condition of the roofing material.

The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The waterproof membrane beneath roofing materials is generally concealed and cannot be examined without removing the roof material. Although roof condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our service. Even water stains on ceilings or on framing within attics will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. We evaluate every roof conscientiously, and even attempt to approximate its age, but we will not predict its remaining life expectancy, or guarantee that it will not leak. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it, and that you either include comprehensive roof coverage in your home insurance policy, or that you obtain a roof certification from an established local roofing company. We do not inspect attached accessories including by not limited to solar systems, antennae, and lightning arrestors.

1. Roof Condition

Good	Fair	Poor	N/A	None
	X			

Materials: Asphalt shingles noted.

Observations:

- Roof was older and appeared to be approaching the end of its life span, even though the roof was older it was in adequate condition for its age. We do recommend budgeting for a update within the next 10 years. Roof replacement is noted as a differed cost.
- Exposed nails on roofing material. Recommend sealing all fastener heads.
- Recommend cleaning moss/ vegetation/ debris off of the roof top as needed.





Roof was older and appeared to be approaching the end of its life span, even though the roof was older it was in adequate condition for its age. We do recommend budgeting for a update within the next 10 years. Roof replacement is noted as a differed cost.



Exposed nails on roofing material. Recommend sealing all fastener heads.



Recommend cleaning moss/ vegetation/ debris off of the roof top as needed.

2. Roof Age

Roof Age 15-20+ Years (Budget for Update)

3. Flashing

Good	Fair	Poor	N/A	None
	X			

Observations:

- Flashings are mastic covered, recommend re-sealing all through the roof vents and projections as a part of routine maintenance.
- Typical maintenance necessary, now and on an annual or semi-annual basis. This generally consists of resealing gaps at through-the-roof projections and at the parapet walls as necessary.
- Recommend re-sealing and painting flashing/ vents as needed this recommendation is part of normal maintenance.



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Typical maintenance necessary, now and on an annual or semi-annual basis. This generally consists of resealing gaps at through-the-roof projections and at the parapet walls as necessary.



Recommend re-sealing and painting flashing/ vents as needed this recommendation is part of normal maintenance.

4. Chimney

Good	Fair	Poor	N/A	None
	X			

Observations:

- The chimney clean out was below the grade of the exterior concrete and/ was obstructed by the concrete. We recommend proving the proper clearance so the clean out door can be operated and/ or we recommend replacing clean out door with a door/ hatch that operates within this space/ area.
- Recommend sealing cracks to the chimney cap as needed.
- Recommend cleaning moss/ mold off of the chimney wall as needed.
- We recommend contacting a licensed chimney contractor to re-evaluate/ service/ clean prior to any use of the fireplace.



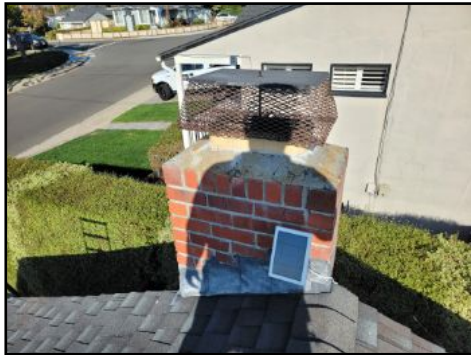
We recommend contacting a licensed chimney contractor to re-evaluate/ service/ clean prior to any use of the fireplace.



The chimney clean out was below the grade of the exterior concrete and/ was obstructed by the concrete. We recommend proving the proper clearance so the clean out door can be operated and/ or we recommend replacing clean out door with a door/ hatch that operates within this space/ area.



Recommend cleaning moss/ mold off of the chimney wall as needed.



We recommend contacting a licensed chimney contractor to re-evaluate/ service/ clean prior to any use of the fireplace.

Recommend sealing cracks to the chimney cap as needed.

5. Spark Arrestor

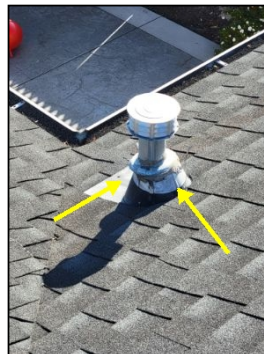
Good	Fair	Poor	N/A	None
X				

6. Vent Caps

Good	Fair	Poor	N/A	None
	X			

Observations:

- Water heater vent installation at the roof top was installed in a substandard manner, we recommend contacting a licensed professional to improve and/ or periodically maintain as needed.



Water heater vent installation at the roof top was installed in a substandard manner, we recommend contacting a licensed professional to improve and/ or periodically maintain as needed.

Garage

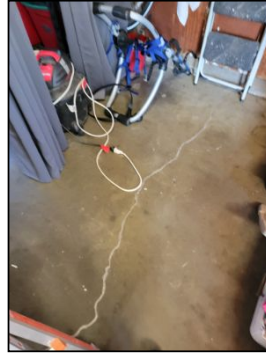
1. Floor Condition

Good	Fair	Poor	N/A	None
	X			

Materials: Concrete floor noted.

Observations:

- Typical cracks were noted to the garage floor recommend repairing/ replacing as needed.
- Finished flooring/ stored material limited our inspection of the flooring in the garage.



Typical cracks were noted to the garage floor recommend repairing/ replacing as needed.

2. Walls

Good	Fair	Poor	N/A	None
	X			

Observations:

- Evidence of WDO activity was noted at the time of inspection (subterranean termite activity), refer to the WDO report for additional information and/ or recommendations as needed.
- Moisture stains were noted to the wall covering, however, no active leaks noted at the time of inspection recommend monitoring/ repairing/ replacing as needed.
- **The common wall between the garage and home has damage, improperly covered areas, and/ or missing. Fire potential to the home is at a greater risk. Recommend repairing or installing the proper fire rated wall.**



Moisture stains were noted to the wall covering, however, no active leaks noted at the time of inspection recommend monitoring/ repairing/ replacing as needed.



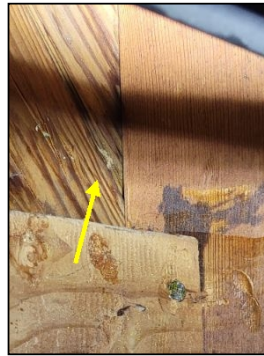
The common wall between the garage and home has damage, improperly covered areas, and/ or missing. Fire potential to the home is at a greater risk. Recommend repairing or installing the proper fire rated wall.



Moisture stains were noted to the wall covering, however, no active leaks noted at the time of inspection recommend monitoring/ repairing/ replacing as needed.



The common wall between the garage and home has damage, improperly covered areas, and/ or missing. Fire potential to the home is at a greater risk. Recommend repairing or installing the proper fire rated wall.



Evidence of WDO activity was noted at the time of inspection (subterranean termite activity), refer to the WDO report for additional information and/ or recommendations as needed.



Evidence of WDO activity was noted at the time of inspection (subterranean termite activity), refer to the WDO report for additional information and/ or recommendations as needed.

3. Rafters/ Joist/ Roof Sheathing

Good	Fair	Poor	N/A	None
	X			

Observations:

- Storage unit/ modification was noted to the ceiling joist this is noted as sub-standard recommend not using area as storage until further/ proper supports are added; contact a licensed contractor to further evaluate/ provide recommendations as needed.
- Please be advised the general installation/ construction of the storage/ mezzanine was noted as poor/ substandard (joist spacing are spread out to far apart/ incomplete joist length/ poorly hung - supported at the wall/ subfloor material is noted inadequate) we recommend not storing many items of heavy items until a licensed contractor further reviews and repairs/ improves as needed.



Please be advised the general installation/ construction of the storage/ mezzanine was noted as poor/ substandard (joist spacing are spread out to far apart/ incomplete joist length/ poorly hung - supported at the wall/ subfloor material is noted inadequate) we recommend not storing many items of heavy items until a licensed contractor further reviews and repairs/ improves as needed.



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4. Electrical

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Most of the outlets were not accessible due to furniture and or stored personal items.

5. GFCI

Good	Fair	Poor	N/A	None
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Observations:

- Unable to test this is due to the outlets/ GFCI receptacles not being accessible at the time of inspection, recommend test all GFCI outlets as part of the final walk through as needed.

6. 240 Volt

Good	Fair	Poor	N/A	None
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Observations:

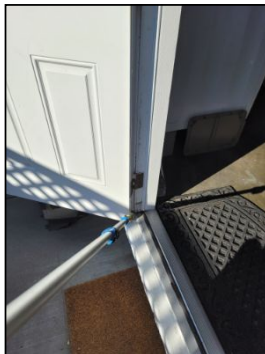
- 240v outlets are not part of this inspection, no representation is made to these areas.

7. Exterior/ Service Door

Good	Fair	Poor	N/A	None
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

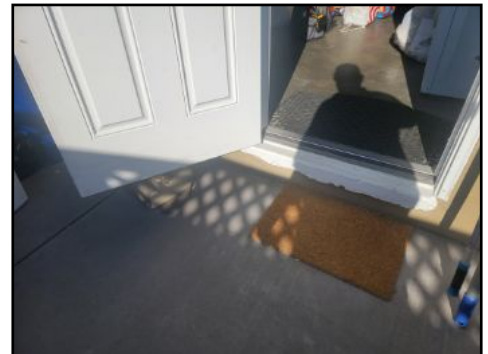
- Garage service door showed signs of WDO damaged/ infestation refer to the WDO report for additional information/ recommendations.
- **We noted a door which opened directly to a step; this installation is noted as a potential safety hazard/ concern. A door should not open to a step and should open to a landing/ flat area. We recommend changing door swing or contact a licensed professional to repair/ replace as needed.**



Garage service door showed signs of WDO damaged/ infestation refer to the WDO report for additional information/ recommendations.



We noted a door which opened directly to a step; this installation is noted as a potential safety hazard/ concern. A door should not open to a step and should open to a landing/ flat area. We recommend changing door swing or contact a licensed professional to repair/ replace as needed.



We noted a door which opened directly to a step; this installation is noted as a potential safety hazard/ concern. A door should not open to a step and should open to a landing/ flat area. We recommend changing door swing or contact a licensed professional to repair/ replace as needed.

8. Fire Door

Good	Fair	Poor	N/A	None
		X		

Observations:

- The door between the home and garage was missing proper fire door labeling unable to determine if this door is properly fire rated this is mentioned as information only.
- **The automatic closure device is missing. This could allow a fire to enter the home and is considered a SAFETY HAZARD. Recommend contacting a licensed door contractor to repair/ replace as needed.**
- **We noted a fire door which opened directly to a step; this installation is noted as a potential safety hazard/ concern. A door should not open to a step and should open to a landing/ flat area. We recommend contacting a licensed professional to repair/ replace as needed**



The door between the home and garage was missing proper fire door labeling unable to determine if this door is properly fire rated this is mentioned as information only.



The automatic closure device is missing. This could allow a fire to enter the home and is considered a SAFETY HAZARD. Recommend contacting a licensed door contractor to repair/ replace as needed.



We noted a fire door which opened directly to a step; this installation is noted as a potential safety hazard/ concern. A door should not open to a step and should open to a landing/ flat area. We recommend contacting a licensed professional to repair/ replace as needed

9. Garage Overhead Door Condition

Good	Fair	Poor	N/A	None
X				

Materials: Metal

Observations:

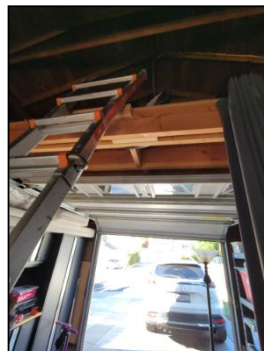
- No deficiencies observed.

10. Garage Opener Status

Good	Fair	Poor	N/A	None
				X

Observations:

- No garage door opener present at the time of inspection this is noted as information only.



No garage door opener present at the time of inspection this is noted as information only.

11. Ventilation

Good	Fair	Poor	N/A	None
X				

Observations:

- Garage ventilation was overall adequate at the time of inspection.



Garage ventilation was overall adequate at the time of inspection.

12. Plumbing/ Utility Lines/ Valves

Good	Fair	Poor	N/A	None
	X			

Observations:

- Recommend updating/ monitoring - corroded drain/ water supply lines as needed.
- Utility lines were exposed to mechanical damage and/ or not properly supported, we recommend adding additional bracing/ support as needed.



Recommend updating/ monitoring - corroded drain/ water supply lines as needed.

13. Sink

Good	Fair	Poor	N/A	None
	X			

Observations:

- Sink faucet was loose, suggest securing as necessary.
- Sink was cracked, recommend repairing/ replacing as needed.



Sink faucet was loose, suggest securing as necessary.



Sink was cracked, recommend repairing/ replacing as needed.



Sink was cracked, recommend repairing/ replacing as needed.

14. Stairs & Handrail

Good	Fair	Poor	N/A	None
		X		

Observations:

- Balusters are over 4 inches apart, dangerous to children repair/ replace as needed.
- Recommend adding riser cover to improve general safety.
- We recommend adding a railing to the elevated platform/ mezzanine, this recommendation is made due to the easy accessibility of the area creating a potential fall hazard.
- **Grab bar/ railing was missing and/ or nonconforming this is noted as a potential safety hazard/ concern. We recommend contacting a licensed professional to repair/ improve as needed.**
- **The upper landing was poorly installed or installed in a substandard manner (built around water heater/ landing does not have proper measurements), recommend improving/ replacing as needed.**



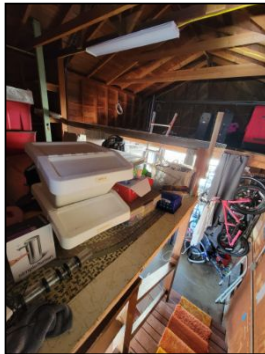
Balusters are over 4 inches apart, dangerous to children repair/ replace as needed.



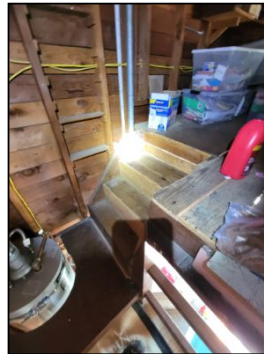
Grab bar/ railing was missing and/ or nonconforming this is noted as a potential safety hazard/ concern. We recommend contacting a licensed professional to repair/ improve as needed.



Recommend adding riser cover to improve general safety.



The upper landing was poorly installed or installed in a substandard manner (built around water heater/ landing does not have proper measurements), recommend improving/ replacing as needed.



Grab bar/ railing was missing and/ or nonconforming this is noted as a potential safety hazard/ concern. We recommend contacting a licensed professional to repair/ improve as needed.



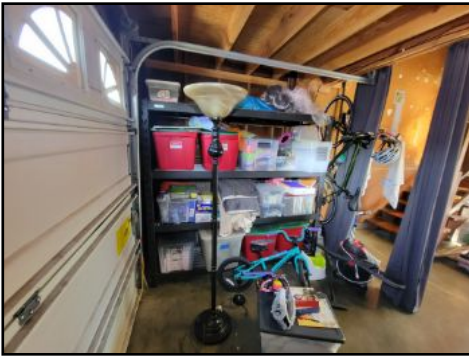
The upper landing was poorly installed or installed in a substandard manner (built around water heater/ landing does not have proper measurements), recommend improving/ replacing as needed.

15. General

Good	Fair	Poor	N/A	None
			X	

Observations:

- Garage inspection was very limited this is due to stored/ personal items blocking/ limiting access at the time of inspection recommend repairing/ replacing as needed.
- Informal laundry area is not part of this inspection; no representation was made to this area.



Garage inspection was very limited this is due to stored/ personal items blocking/ limiting access at the time of inspection recommend repairing/ replacing as needed.



Garage inspection was very limited this is due to stored/ personal items blocking/ limiting access at the time of inspection recommend repairing/ replacing as needed.



Informal laundry area is not part of this inspection; no representation was made to this area.

Kitchen

The kitchen is used for food preparation and often for entertainment. Kitchens typically include a stove, dishwasher, sink and other appliances. We may test kitchen appliances for basic functionality, but cannot evaluate them for their performance nor for the variety of their settings or cycles. Appliances older than ten years may exhibit decreased efficiency. Even if general comments are made, these items are not inspected: free-standing appliances, refrigerators, freezers, ice makers, trash-compactors, built-in toasters, coffee-makers, can-openers, blenders, instant hot-water dispensers, water-purifiers, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning and cooking capability of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and not wired to national electrical standards. These items should be considered outside the scope of the inspection. Appliances are not moved during the inspection. Portable dishwashers are not inspected, as they require connection to facilitate testing.

1. Cabinets

Good	Fair	Poor	N/A	None
	X			

Observations:

- Most not accessible due to stored personal items.
- DEFERRED COST: The cabinets are original. Consider upgrade.



DEFERRED COST: The cabinets are original. Consider upgrade.

2. Counters

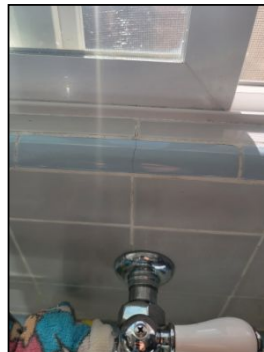
Good	Fair	Poor	N/A	None
	X			

Observations:

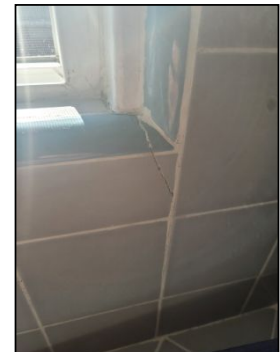
- We noted evidence of typical cracking to the counter and back splash tiles, we recommend updating/ repairing as needed.
- There is normal wear noted for the age of the counter tops.
- Laminated countertop is swollen and beginning to blister @ILOCATION@@. This is a cosmetic issue for your information. Repair as necessary.



We noted evidence of typical cracking to the counter and back splash tiles, we recommend updating/ repairing as needed.



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3. Dishwasher

Good	Fair	Poor	N/A	None
	X			

Observations:

- Operated.
- No **air gap** present. Lack of a proper air gap noted at dishwasher drain line. In the event of a sewer backup this device prevents sewer matter from entering into dishwasher. Recommend having a qualified plumber install a air gap to prevent possible contamination.



Operated.



No air gap present. Lack of a proper air gap noted at dishwasher drain line. In the event of a sewer backup this device prevents sewer matter from entering into dishwasher. Recommend having a qualified plumber install a air gap to prevent possible contamination.

4. Microwave

Good	Fair	Poor	N/A	None
X				

Observations:

- Built-in microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection. Leak and/or efficiency testing is beyond the scope of this inspection. If concerned, client should seek further review by qualified technician prior to closing.



Built-in microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection. Leak and/or efficiency testing is beyond the scope of this inspection. If concerned, client should seek further review by qualified technician prior to closing.

5. Oven & Range

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Oven: gas burners
- All heating elements operated when tested.
- Gas valve is located on the left side of the appliance.



All heating elements operated when tested.



Gas valve is located on the left side of the appliance.

6. Sink/ Faucet

Good	Fair	Poor	N/A	None
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Sink rusted. Monitor for developing leaks (none found during inspection).



Sink rusted. Monitor for developing leaks (none found during inspection).

7. Exhaust Vent Condition

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Venting Type: Exterior Vented

Observations:

- Maintenance Recommendation: Recommend cleaning filter regularly for fire safety.



Maintenance Recommendation: Recommend cleaning filter regularly for fire safety.

8. Floor Condition

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

9. Plumbing

Good	Fair	Poor	N/A	None
	X			

Observations:

- Drain lines showed signs of corrosion however no active leaking was present at the time of inspection recommend monitoring/ repairing/ replacing as needed.
- Please be advised there are no water shut off valves located below the sink, this is noted as a typical condition for homes of this age and this area. We recommend improving as needed.
- Drain line was incorrectly sloped and/ or noted as sub-standard installation recommend properly repairing/ replacing as needed.



Drain line was incorrectly sloped and/ or noted as sub-standard installation recommend properly repairing/ replacing as needed.



Please be advised there are no water shut off valves located below the sink, this is noted as a typical condition for homes of this age and this area. We recommend improving as needed.



Drain lines showed signs of corrosion however no active leaking was present at the time of inspection recommend monitoring/ repairing/ replacing as needed.

10. Ceiling/ Wall Condition

Good	Fair	Poor	N/A	None
X				

Observations:

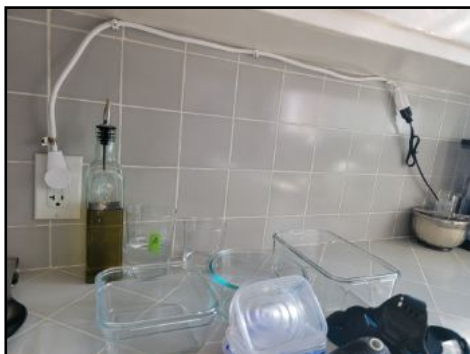
- Typical cracking in the wall finish is noted this is mentioned as information for the party of interest.

11. Electrical

Good	Fair	Poor	N/A	None
	X			

Observations:

- Minimal amount of receptacles were present at the time of inspection this is a common condition for homes of this age and in this area recommend considering adding/ improving as needed. Improving this condition will prevent or help prevent the need of extension cords.
- **Extension cord wiring was noted this appears to be due to the lack of receptacles/ outlets present at the time of inspection. We recommend contacting a licensed professional to improve as needed. Extension cord wiring is noted as a potential safety concern.**



Minimal amount of receptacles were present at the time of inspection this is a common condition for homes of this age and in this area recommend considering adding/ improving as needed. Improving this condition will prevent or help prevent the need of extension cords.



Extension cord wiring was noted this appears to be due to the lack of receptacles/ outlets present at the time of inspection. We recommend contacting a licensed professional to improve as needed. Extension cord wiring is noted as a potential safety concern.

12. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:
• GFCI in place and operational.

Bathrooms

Bathrooms can consist of many features from jacuzzi, tubs, showers, and toilets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. It is also very import to assure all electrical components are properly installed and operating. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring. In accordance with industry standards of practice, we do not comment on common cosmetic deficiencies, and do not evaluate window treatments, steam showers, and saunas. More importantly, we do we leak-test shower pans, which is usually the responsibility of a termite inspector. However, because of the possibility of water damage, most termite inspectors will not leak-test second floor shower pans without the written consent of the owners or occupants. Our inspection of interior areas includes the visually accessible areas of walls, floors, cabinets and closets, and a representative number of windows and doors, switches and outlets. We do not evaluate window treatments, nor move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on common cosmetic deficiencies

1. Doors

Good	Fair	Poor	N/A	None
X				

Observations:

- No major system safety or function concerns noted at time of inspection.

2. Walls/ Ceilings Condition

Good	Fair	Poor	N/A	None
X				

Observations:

- Typical cracking in the wall finish is noted this is mentioned as information for the party of interest.

3. Vanities

Good	Fair	Poor	N/A	None
X				

Observations:

- No deficiencies observed.

4. Counters

Good	Fair	Poor	N/A	None
X				

Observations:

- Maintenance Recommendation: Recommend adding additional caulking/ grouting/ sealing as needed.

5. Sinks

Good	Fair	Poor	N/A	None
X				

Observations:

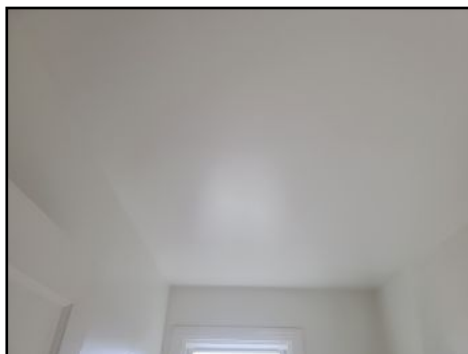
- No deficiencies observed.

6. Exhaust Fan

Good	Fair	Poor	N/A	None
				X

Observations:

- No fan was observed, we recommend an exhaust fan be installed in all bathrooms for proper ventilation and moisture control.



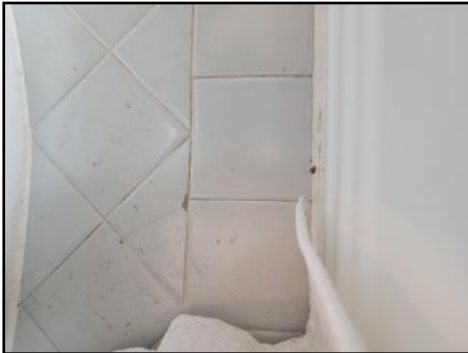
No fan was observed, we recommend an exhaust fan be installed in all bathrooms for proper ventilation and moisture control.

7. Floor Condition

Good	Fair	Poor	N/A	None
	X			

Observations:

- Cracked tiles noted.
- Threshold type at the hallway bathroom was noted as a potential trip hazard, we recommend improving/ updating as needed.**



Cracked tiles noted.



Threshold type at the hallway bathroom was noted as a potential trip hazard, we recommend improving/ updating as needed.

8. Plumbing

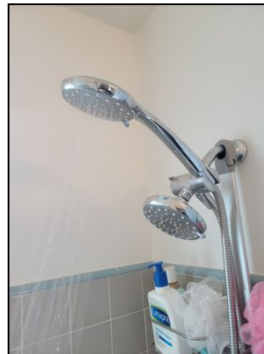
Good	Fair	Poor	N/A	None
	X			

Observations:

- Drain showed signs of minor back up at the time of inspection recommend repairing/ replacing as needed.
- Tub faucet was not properly operating both shower head/ spout were operating at the same time recommend contacting a licensed plumber to repair/ replace as needed.
- Faucets/ plumbing fixtures were loose recommend properly securing/ repairing/ replacing as needed.



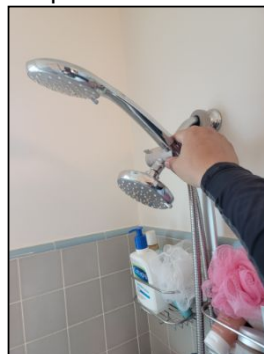
Drain showed signs of minor back up at the time of inspection recommend repairing/ replacing as needed.



Tub faucet was not properly operating both shower head/ spout were operating at the same time recommend contacting a licensed plumber to repair/ replace as needed.



Tub faucet was not properly operating both shower head/ spout were operating at the same time recommend contacting a licensed plumber to repair/ replace as needed.



Faucets/ plumbing fixtures were loose recommend properly securing/ repairing/ replacing as needed.

9. Toilets

Good	Fair	Poor	N/A	None
	X			

Observations:

- Operated when tested. Appeared functional, at time of inspection - except as noted.
- The toilet water tank was loose; we recommend properly securing to prevent potential leaking at the connection point of the toilet water tank and toilet bowl.



The toilet water tank was loose; we recommend properly securing to prevent potential leaking at the connection point of the toilet water tank and toilet bowl.

10. Bath Tubs

Good	Fair	Poor	N/A	None
	X			

Observations:

- Stopper is inoperable.



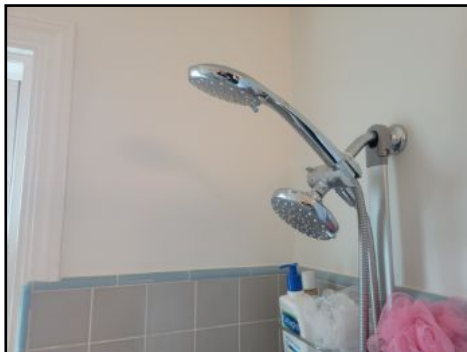
Stopper is inoperable.

11. Shower/ Tub Walls

Good	Fair	Poor	N/A	None
	X			

Observations:

- Recommend additional caulking/ sealing throughout the bathrooms as needed this is noted as part of normal maintenance.
- Recommend improving wall covering in the wet areas as needed.



Recommend improving wall covering in the wet areas as needed.

12. Enclosure

Good	Fair	Poor	N/A	None
			X	

Observations:

- Curtain present at the shower enclosure.

13. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:

- No major system safety or function concerns noted at time of inspection.

14. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:

- GFCI in place and operational.

15. Window

Good	Fair	Poor	N/A	None
	X			

Observations:

- Window height in the tub/ shower area was noted as sub-standard/ low this condition may lead to potential water intrusion/ damage recommend monitoring/ updating/ repairing/ replacing as needed.



Window height in the tub/ shower area was noted as sub-standard/ low this condition may lead to potential water intrusion/ damage recommend monitoring/ updating/ repairing/ replacing as needed.

Rooms

The main area of inspection in the rooms is the structural and electrical system. This means that all walls, ceilings, floors, and electrical components will be inspected and reviewed as long as proper accessibility is present. Doors and windows will also be investigated for damage and normal operation. Personal items in the bedroom may prevent all areas to be inspected as the inspector will not move personal items.

We do not evaluate window treatments, move furnishings or possessions, lift carpets or rugs, empty closets or cabinets, nor comment on cosmetic deficiencies. We may not comment on cracks that appear around windows and doors, along lines of framing members or along seams of drywall and plasterboard. These are typically caused by minor movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Floor covering damage or stains may be hidden by furniture, and the condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. Testing, identifying, or identifying the source of environmental pollutants or odors (including but not limited to lead, mold, allergens, odors from household pets and cigarette smoke) is beyond the scope of our service, but can become equally contentious or difficult to eradicate. We recommend you carefully determine and schedule whatever remedial services may be deemed advisable or necessary before the close of escrow.

1. Doors

Good	Fair	Poor	N/A	None
X				

2. Walls/ Ceilings Condition

Good	Fair	Poor	N/A	None
X				

Observations:

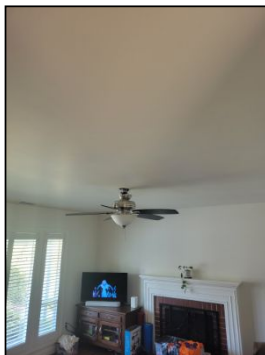
- Typical cracking in the wall finish is noted this is mentioned as information for the party of interest.

3. Ceiling Fans

Good	Fair	Poor	N/A	None
	X			

Observations:

- Operated normally when tested, at time of inspection.
- The ceiling fan canopy was not properly installed, recommend repairing/ replacing as needed.



The ceiling fan canopy was not properly installed, recommend repairing/ replacing as needed.



The ceiling fan canopy was not properly installed, recommend repairing/ replacing as needed.

4. Closets

Good	Fair	Poor	N/A	None
X				

Observations:

- The closets were in serviceable condition.

5. Electrical

Good	Fair	Poor	N/A	None
	X			

Observations:

- Some outlets not accessible due to furniture and or stored personal items.
- Recommend replacing incomplete light fixtures as needed.



Recommend replacing incomplete light fixtures as needed. Dining Area

6. Floor Condition

Good	Fair	Poor	N/A	None
X				

Interior Areas

The Interior section covers areas of the house that may not be mentioned within the room/ bathroom sections this would included doors, windows, walls, ceilings, fireplaces, stairs, railings, ETC. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, moisture, and electrical problems if seen. Personal items in the structure may prevent the inspector from viewing all areas on the interior.

All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage.

The inspector does not usually test for mold or other hazardous materials. A qualified expert should be consulted if you would like further testing.

1. Ceiling Fans/ Whole House Fan

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated normally when tested, at time of inspection.



Operated normally when tested, at time of inspection.



Operated normally when tested, at time of inspection.

2. Closets

Good	Fair	Poor	N/A	None
X				

Observations:

- The closets were in serviceable condition.

3. Front and Rear/ Side Service Door

Good	Fair	Poor	N/A	None
X				

Observations:

- Front main entry door was in functional condition at the time of inspection.

4. Fireplace

Good	Fair	Poor	N/A	None
	X			

Location Living Room

Fireplace Type: Masonry unit wood burning

Observations:

- Level II inspection—The National Fire Protection Association (www.nfpa.org) advises that each chimney receive a Level II inspection each time a residence is sold. Inspection levels are explained at www.csia.org/pressroom/press-inspection-levels-explained.htm. It is also advised that this inspection be conducted by a chimney sweep certified by the Chimney Safety Institute of America (www.csia.org).
- Have a fireplace professional evaluate and repair any issues found before attempting to use fireplace.
- Have chimneys swept by professional. It may seem like an unnecessary task, to clean a chimney, but that is definitely not the truth. Neglecting to clean your chimney can result in a house fire. Chimneys often have buildup when not cleaned which will prevent smoke and vapors to exit the chimney properly. Avoid the nuisance of smoke damage or the devastation of a house fire, we recommend contacting a licensed chimney contractor to service/ maintain as needed.
- Open joints or cracks in firebrick/panels should be sealed recommend contacting a licensed chimney contractor to repair/ replace as needed.
- Efflorescence observed within the fireplace; often a sign of water infiltration/exfiltration and can be a precursor of masonry deterioration.
- Recommend replacing damaged clean out cover as needed.
- The damper was not properly operating and/ or the damper was damaged we highly recommend contacting a licensed chimney contractor to repair/ replace as needed.



Living Room



Recommend replacing damaged clean out cover as needed.



Efflorescence observed within the fireplace; often a sign of water infiltration/exfiltration and can be a precursor of masonry deterioration.



The damper was not properly operating and/ or the damper was damaged we highly recommend contacting a licensed chimney contractor to repair/ replace as needed.

5. Window Condition

Good	Fair	Poor	N/A	None
X				

Window Type: Double Pane Vinyl Windows

Observations:

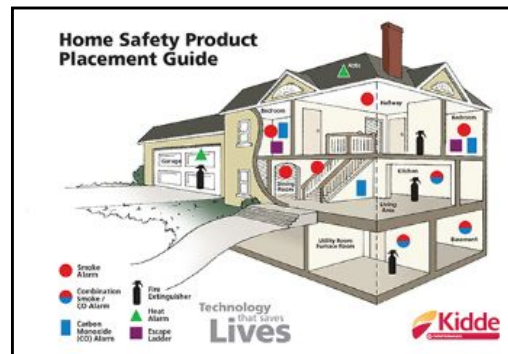
- In accordance with InterNACHI Standards, we do not test every window in the house, and particularly if it is furnished. We do test every unobstructed window in every bedroom to ensure that at least one provides and emergency exit.
- Highly recommend operating all windows during final walk through inspection.
- Operated windows appeared functional, at time of inspection

6. Smoke and C/O Detectors

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated when tested.
- MAINTENANCE: Periodic testing and changing batteries yearly to ensure proper Smoke Alarm operation is required.
- SAFETY INFO: Carbon Monoxide (CO) is a lethal gas--invisible, tasteless, odorless--produced in normal amounts whenever you use an appliance which burns a combustible fuel--gas, oil, kerosene, charcoal, and wood. When proper ventilation becomes blocked or inadequate, CO concentrations build up inside your home and become deadly.
- Smoke Alarms shall be installed in the following locations:
 - In each sleeping room.
 - Outside each sleeping area in the immediate vicinity of the bedrooms.
 - On each additional story of the dwelling, including basements but not including crawl spaces and uninhabitable attics
- Carbon Monoxide Alarms shall be installed in the following locations:
 - Outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s).
 - On every level of a dwelling unit including basements.
 - Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom



Smoke Alarms shall be installed in the following locations: - In each sleeping room. - Outside each sleeping area in the immediate vicinity of the bedrooms. - On each additional story of the dwelling, including basements but not including crawl spaces and uninhabitable attics Carbon Monoxide Alarms shall be installed in the following locations: - Outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s). - On every level of a dwelling unit including basements. - Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom

Attic

This report describes the method used to inspect any accessible attics; and describes the insulation in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present. In accordance with our standards, we do not attempt to enter attics that have less than thirty-six inches of headroom, are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we would inspect them as best we can from the access point. In regard to evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test the material for specific identification. Also, we do not disturb or move any portion of it, and it may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

1. Access

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Scuttle hole located in the hallway.

2. Structure

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Limited review due to insulation installed between the joist/ framing
- Rafter roof structure was noted at the time of inspection.
- Planking sheathing noted.
- Moisture stains were noted to the rafters/ sheathing in the attic area, however due to the lack of rain we were unable to determine if this is from a active or old leaks recommend monitoring/ repairing/ replacing as needed.



Rafter roof structure was noted at the time of inspection.



Limited review due to insulation installed between the joist/ framing

3. Ventilation

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

4. Electrical

Good	Fair	Poor	N/A	None
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- All wiring should be properly secured to the framing.
- **Certain receptacles showed signs of open ground this is noted as a potential hazard recommend repairing/ replacing as needed.**



All wiring should be properly secured to the framing.



Certain receptacles showed signs of open ground this is noted as a potential hazard recommend repairing/ replacing as needed.

5. Insulation Condition

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Insulation Type: Unfinished fiberglass batts noted.

Insulation Depth: Insulation averages about 12-16 inches in depth

Observations:

- Insulation appears adequate.

6. Chimney

Good	Fair	Poor	N/A	None
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Observations:

- Chimney not visible/ no inspection/ representation made from the attic area.

7. Exhaust Vent/ Fan

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Functional.



Functional.

Foundation

This report describes the foundation, wall, Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist.

Please note if a crawlspace is present additional comments/ sections will be added to provide information regarding the condition of any existing framing, plumbing, electrical, and moisture issues. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guaranty that the foundation, and the overall structure and structural elements of the building is sound.

1. Foundation Type

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Foundation Type/ Material:

- Poured Concrete Perimeter and/ or Intermediate Foundation

2. Foundation Walls

Good	Fair	Poor	N/A	None
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- We noted a small section of foundation which was undermined at this area we also noted small cracks due to the undermining. We recommend contacting a licensed professional to improve as needed. Further evaluation of this condition is beyond the scope of this inspection.
- Our inspection is a visual non-intrusive inspection which is limited to accessible and uncovered areas, and our qualifications are limited; if buyer has further concerns or would like a thorough evaluation of foundation and soil we recommend a P.E. (Professional Engineer) is contacted.
- We noted evidence of repaired/ improved cracked areas to the foundation wall. Repairs appeared to be in overall adequate condition however we do recommend reviewing disclosure/ permit history to understand what was done, and by who. This is noted as a general observation/ recommendation.
- Our inspection is a visual non-intrusive inspection which is limited to accessible and uncovered areas, and our qualifications are limited; if buyer has further concerns or would like a thorough evaluation of foundation and soil we recommend a P.E. (Professional Engineer) is contacted.
- Cracks / Holes (1/4" or less) present in: foundation / floor / ext. wall. Consider sealing them to prevent water infiltration. Generally speaking, cracks that are less than 1/4" are not commonly regarded as being structurally significant.



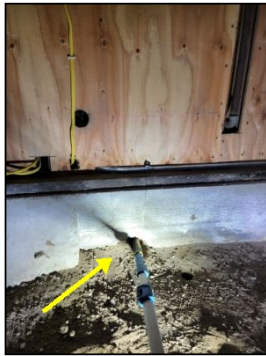
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3. Cripple Walls

Good	Fair	Poor	N/A	None
			X	

Observations:

- We were unable to perform a complete inspection of the cripple wall this is due to closed walls/ finished surfaces limiting our visibility/ access. Recommend perform periodic inspections as needed.
- Moisture stains were noted to the shear wall paneling, however, no active leaks noted at the time of inspection recommend monitoring/ repairing/ replacing as needed.



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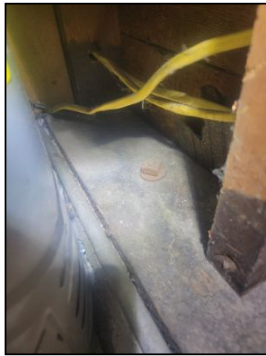
Moisture stains were noted to the shear wall paneling, however, no active leaks noted at the time of inspection recommend monitoring/ repairing/ replacing as needed.

4. Anchor Bolts

Good	Fair	Poor	N/A	None
	X			

Observations:

- Some of the bolting was outdated. Bolting is the first step in resisting lateral forces due to wind and seismic activity. We recommend additional bolts be installed in an epoxy bed per current requirements. Bolts should be 5/8 inch thick with square washers, spaced a minimum of 4 feet apart, 12 inches from the end of a sill plate, at least two per board, and embedded at least 7 inches. Contact a licensed general contractor to obtain cost estimates.
- We noted evidence of repaired/ improved anchor bolts/ seismic restrain in the subarea repairs/ improvements appeared to be in overall adequate condition however we do recommend reviewing disclosure/ permit history to understand what was done, and by who. This is noted as a general observation/ recommendation.
- Some of anchor bolts were not visible obscured by insulation/ finished wall covering/ shear wall paneling.



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Basement/Crawlspace

1. Access Door Condition

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Exterior

2. Plumbing

Good	Fair	Poor	N/A	None
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Recommend updating corroded/ leaking drain/ water supply lines as needed.
- Plumbing inspection was limited this is due to the insulation limiting access/ visibility at the time of inspection.
- We noted that the tub (below bathroom) had much corrosion and/ or rust. No active leaking was noted at the time of inspection. We do recommend monitoring and/ or periodically inspecting and improving as needed.



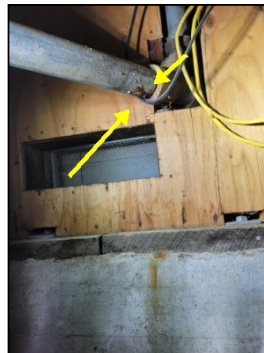
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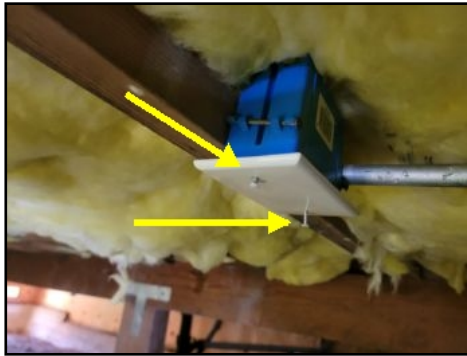
Recommend updating corroded/ leaking drain/ water supply lines as needed.

3. Basement Electric

Good	Fair	Poor	N/A	None
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Recommend properly cover plate screws as needed.



Recommend properly cover plate screws as needed.

4. GFCI

Good	Fair	Poor	N/A	None
				X

Observations:

- Recommend GFCI protection for all receptacles located in the crawlspace/ unfinished basement as needed.



Recommend GFCI protection for all receptacles located in the crawlspace/ unfinished basement as needed.

5. Crawlspace/ Basement Floor

Good	Fair	Poor	N/A	None
	X			

Observations:

- Recommend cleaning all debris from the crawlspace floor as needed.
- House hold pest type activity was noted in the crawlspace/ floor recommend contacting a licensed Pest Control Operator to mitigate/ clean infestation as needed.



House hold pest type activity was noted in the crawlspace/ floor recommend contacting a licensed Pest Control Operator to mitigate/ clean infestation as needed. Recommend cleaning all debris from the crawlspace floor as needed.

6. Framing

Good	Fair	Poor	N/A	None
			X	

Observations:

- Most of the framing and/ or sub-floor was not visible this is due to the insulation limiting access and/ or visibility. This is noted as information only.



Most of the framing and/ or sub-floor was not visible this is due to the insulation limiting access and/ or visibility. This is noted as information only.

7. Subfloor

Good	Fair	Poor	N/A	None
			X	

Observations:

- Most of the framing and/ or sub-floor was not visible this is due to the insulation limiting access and/ or visibility. This is noted as information only.

8. Post and Piers

Good	Fair	Poor	N/A	None
X				

Observations:

- No major deficiencies were observed at the visible portions of the structural components of the home.
- Certain post were not plumb or directly over the pier this is noted as a common construction defect and is mentioned as information only.



Certain post were not plumb or directly over the pier this is noted as a common construction defect and is mentioned as information only.

9. Ventilation

Good	Fair	Poor	N/A	None
X				

10. Insulation Condition

Good	Fair	Poor	N/A	None
X				

Materials: Unfinished fiberglass batts noted.

Depth: Insulation averages about 10-12 inches in depth

Observations:

- Insulation appears adequate.

Heat/AC

The inspector can only readily open access panels provided by the manufacturer or installer for routine homeowner maintenance, and will not operate components when weather conditions or other circumstances apply that may cause equipment damage. The inspector does not light pilot lights or ignite or extinguish solid fuel fires, nor are safety devices tested by the inspector. The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, or inspect concealed portions of evaporator and condensing coils, heat exchanger or firebox, electronic air filters, humidifiers and de-humidifiers, ducts and in-line duct motors or dampers, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. We perform a conscientious evaluation of the system, but we are not specialists.

Please note that even modern heating systems can produce carbon monoxide, which in a poorly ventilated room can result in sickness and even death. Therefore, it is essential that any recommendations we make for service or further evaluation be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form or warranty or guarantee. Normal service and maintenance is recommended on a yearly basis. Determining the presence of asbestos materials commonly used in heating systems can ONLY be performed by laboratory testing and is beyond the scope of this inspection. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy.

1. Heater Condition

Good	Fair	Poor	N/A	None
X				

Heater Location: Location: • The furnace is located in the attic

Heater Type: Gas fired forced hot air.

Observations:

- Furnace was in overall normal operating condition however we recommend contacting a licensed HVAC contractor to repair/ service the unit prior to normal use.
- Due to the higher efficiency of this unit, this review is limited. Most areas are sealed and inaccessible. We suggest review by a licensed heating contractor if a more detailed review is desired.



Furnace was in overall normal operating condition however we recommend contacting a licensed HVAC contractor to repair/ service the unit prior to normal use.



Furnace Dated 10-2017



Furnace Dated 10-2017

2. Heater Age

Heater Age: 1-5 Years

3. Flue

Good	Fair	Poor	N/A	None
X				

Observations:

- Furnace flue was in overall adequate condition at the time of inspection.

4. Venting

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

5. Gas Valves

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Gas shut off valves were present and functional.



Gas shut off valves were present and functional.

6. Refrigerant Lines

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- No defects found.
- Could not fully inspect this is due to limited access/ visibility present at the time of inspection.

7. AC Compress Condition

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Compressor Type: Electric

Location: The compressor is located on the exterior grounds.

Observations:

- Appeared functional at the time of inspection.
- Air Conditioning mounting pad not level; this may shorten motor life. Suggest leveling pad or unit.
- Recommend contacting a licensed HVAC contractor to service/ clean the **A/C** unit prior to normal use.
- Maintenance Tip: Recommend that HVAC professional seasonally check the air conditioning unit, and ensure the unit is level. This can be accomplished at the same time as the annual furnace inspection.



Appeared functional at the time of inspection.



Air Conditioning mounting pad not level; this may shorten motor life. Suggest leveling pad or unit.



A/C unit label

8. A/C Unit Age

A/C Unit Age : 1-5 Years

9. Duct Work

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

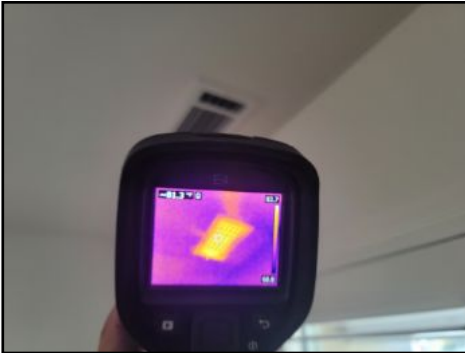
- Recommend having DUCT work cleaned and serviced prior to normal use of the furnace.

10. Registers

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- The return air supply system appears to be functional.
- The heating register appeared to have proper or average air flow; this is noted as information only.



The heating register appeared to have proper or average air flow; this is noted as information only.



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The return air supply system appears to be functional.



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The heating register appeared to have proper or average air flow; this is noted as information only.

11. Filters

Good	Fair	Poor	N/A	None
	X			

Location: Located adjacent to the furnace in a filter compartment/ holder. • Located inside a filter grill in the hall ceiling.

Observations:

• MAINTENANCE: The air filter(s) should be inspected at least monthly and cleaned or replaced as required. There are two types of filters commonly used: (1) Washable filters, (constructed of aluminum mesh, foam, or reinforced fibers) these may be cleaned by soaking in mild detergent and rinsing with water. Or (2) Fiberglass disposable filters that must be REPLACED before they become clogged. Remember that dirty filters are the most common cause of inadequate heating or cooling performance.



MAINTENANCE: The air filter(s) should be inspected at least monthly and cleaned or replaced as required. There are two types of filters commonly used: (1) Washable filters, (constructed of aluminum mesh, foam, or reinforced fibers) these may be cleaned by soaking in mild detergent and rinsing with water. Or (2) Fiberglass disposable filters that must be REPLACED before they become clogged. Remember that dirty filters are the most common cause of inadequate heating or cooling performance.



MAINTENANCE: The air filter(s) should be inspected at least monthly and cleaned or replaced as required. There are two types of filters commonly used: (1) Washable filters, (constructed of aluminum mesh, foam, or reinforced fibers) these may be cleaned by soaking in mild detergent and rinsing with water. Or (2) Fiberglass disposable filters that must be REPLACED before they become clogged. Remember that dirty filters are the most common cause of inadequate heating or cooling performance.

12. Thermostats

Good	Fair	Poor	N/A	None
X				

Observations:

- Digital - programmable type.
- Functional at the time of inspection.
- Thermostats are not checked for calibration or timed functions.



Digital - programmable type.

13. Utility Lines

Good	Fair	Poor	N/A	None
X				

Observations:

- Utility lines were exposed to mechanical damage recommend adding additional bracing/ support as needed.

Water Heater

Our review of water heaters includes the tank, water and gas connections, electrical connections, venting and safety valves. These items are examined for proper function, excessive or unusual wear, leakage and general state of repair. We do not fully review tankless/on-demand systems and suggest you consult a specialist. The hidden nature of piping and venting prevents inspection of every pipe, joint, vent and connection.

1. Water Heater Condition

Good	Fair	Poor	N/A	None
	X			

Heater Type: Gas

Location: The water heater is located in the garage.

Observations:

- The water heater access location had restrictions (landing build around the water heater) this condition not only limits the required landing space it also will create complications when the water heater needs to be replaced. We recommend contacting a licensed contractor to repair/ improve as needed.
- Recommend having the water heater serviced by a licensed plumber as needed.



The water heater access location had restrictions (landing build around the water heater) this condition not only limits the required landing space it also will create complications when the water heater needs to be replaced. We recommend contacting a licensed contractor to repair/ improve as needed.

Recommend having the water heater serviced by a licensed plumber as needed.

2. Water Heater Age

Water Heater Age 5-10 Years differed cost recommend budgeting for update as needed.

3. Number Of Gallons

Good	Fair	Poor	N/A	None
X				

Observations:

- 40 gallons



40 gallons

4. Flue

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Single wall flue noted at the time of inspection due to the flue being located in a readily accessible area we recommend improving or updating the flue to a double wall flue. Currently the installation or single wall flue is noted as a potential burn hazard repair/ replace as needed.

5. Combustion Air Venting

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

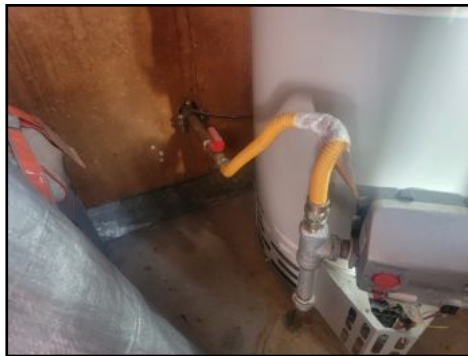
- The combustion chamber appears to in functional condition.

6. Gas Line/ Valve

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Appears functional.



Appears functional.

7. Plumbing

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Copper

Observations:

- No deficiencies observed at the visible portions of the supply piping.
- Most of the piping is concealed and cannot be identified.

8. Strapping/ Seismic Restraints

Good	Fair	Poor	N/A	None
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Seismic straps should be installed 1/3 from the top and the bottom.

9. Base

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- Recommend adding a drain pan to the water heater as needed.



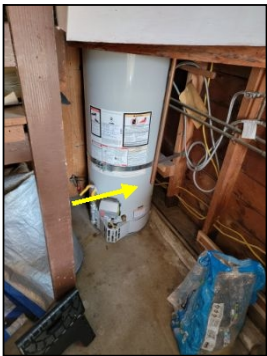
Recommend adding a drain pan to the water heater as needed.

10. TPRV

Good	Fair	Poor	N/A	None
		X		

Observations:

- A Temperature Pressure Relief Valve (**TPR Valve**) present. This safety valve releases water (and thus relieves pressure) if either the temp or pressure in the tank gets too high. The TPR valve discharge tube must be made of copper, iron, or CPVC (NOT regular **PVC**). It must terminate within 6" above the floor--the end cannot be threaded or have a fitting.
- **Temperature-Pressure relief valve extension needs to be 4"-6" off of the floor - this is a Safety Concern.**



Temperature-Pressure relief valve extension needs to be 4"-6" off of the floor - this is a Safety Concern.

11. General

General Comments Due to the age of the home we recommend party of interest consider having a licensed plumber perform a sewer lateral inspection. • An excellent tool to keep handy for dealing with gas leaks, fire safety, and other disasters or emergencies is emergency gas shut off wrench.

Electrical

This report describes the amperage and voltage rating of the service, the location of the main disconnect and any sub panel(s), the presence of solid conductor aluminum branch circuit wiring, the presence or absence of smoke detectors and wiring methods. Inspectors are required to inspect the viewable portions of the service drop from the utility to the house, the service entrance conductors, cables and raceways, the service equipment and main disconnects, the service grounding, the interior components of the service panels and sub panels, the conductors, the over-current protection devices (fuses or breakers), ground fault circuit interrupters and a representative number of installed lighting fixtures, switches and receptacles. All issues or concerns listed in this Electrical section should be construed as current and a potential personal safety or fire hazard. Repairs should be a priority, and should be made by a qualified, licensed electrician. Please review the entire report as general electrical comments may be added and noted with in the body of the report.

1. Electrical Panel

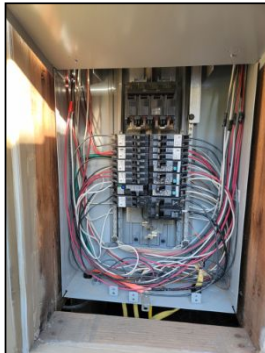
Good	Fair	Poor	N/A	None
X				

Location: Main Location: • Exterior of structure.

Location: Sub Panel Location: • Located at the exterior wall

Observations:

- No major system safety or function concerns noted at time of inspection at main panel box.
- No major system safety or function concerns noted at time of inspection at sub panel box.
- **Please be advised we observed older panels in the garage which were converted to junction boxes. This is noted as a typical alteration however the old panels should be labeled as junction boxes and the covers need to be properly secured (screw). The current condition of these units are noted as a potential safety hazard (not labeled, cover not secured) recommend improving/ updating as needed.**



Main Panel (Cover off)



Exterior Sub-Panel (Cover off)



Please be advised we observed older panels in the garage which were converted to junction boxes. This is noted as a typical alteration however the old panels should be labeled as junction boxes and the covers need to be properly secured (screw). The current condition of these units are noted as a potential safety hazard (not labeled, cover not secured) recommend improving/ updating as needed.

2. Main Amp Breaker

Good	Fair	Poor	N/A	None
X				

Observations:

- 200 amp



200 amp

3. Service Feed

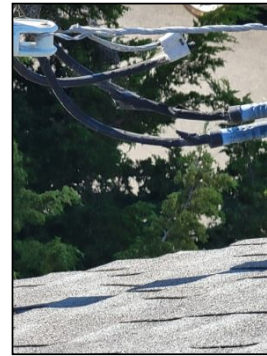
Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- There is an overhead service drop noted.
- Service feed conduits were in need of normal maintenance recommend contacting a licensed profession to improve/ maintain as needed.



There is an overhead service drop noted.



Service feed conduits were in need of normal maintenance recommend contacting a licensed profession to improve/ maintain as needed.

4. Breakers

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Copper non-metallic sheathed cable noted. • Copper armor sheathed cable noted.

Observations:

- All of the circuit breakers appeared serviceable.

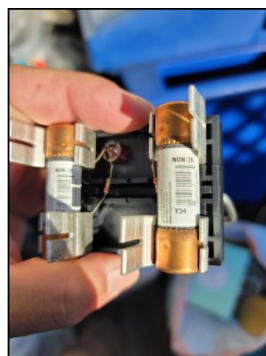
5. Fuses

Good	Fair	Poor	N/A	None
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: 25 amp.

Observations:

- No major concerns were noted at the time of inspection.

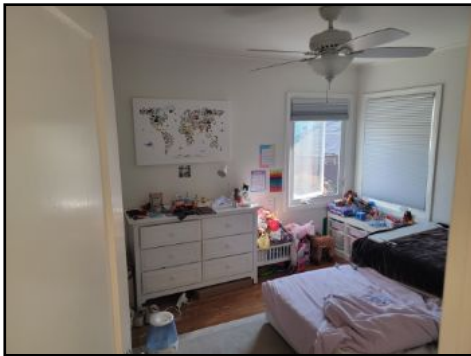


No major concerns were noted at the time of inspection.

6. Bonding/ Grounding

Good	Fair	Poor	N/A	None
X				

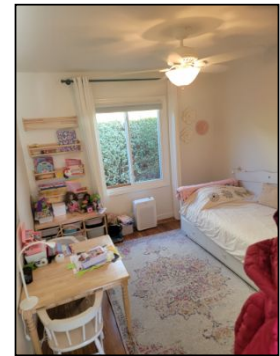
Photos



Bedroom 1



Bedroom 2



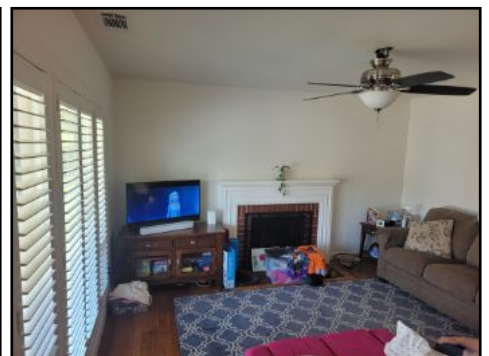
Bedroom 3



Bathroom



Dining Area



Living Room



Kitchen

Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
Air Gap	Air gap (drainage): The unobstructed vertical distance through free atmosphere between the outlet of the waste pipe and the flood-level rim of the receptacle into which the waste pipe is discharged.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
Open Ground	An open ground is when you have a three-prong receptacle that is not connected to an equipment grounding conductor. This is unsafe because an appliance that is designed to use an equipment ground to discharge an unsafe fault condition will not have a conductor to discharge that fault. Open grounds are common in houses built prior to the adoption of the 1962 electrical code. When old two-prong receptacles are replaced with modern three-prong receptacles and a grounding conductor is not added, you create an open ground. You can also find open grounds in post-1962 houses where the equipment grounding conductor has been disabled for one reason or another.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.
TPR Valve	The thermostat in a water heater shuts off the heating source when the set temperature is reached. If the thermostat fails, the water heater could have a continuous rise in temperature and pressure (from expansion of the water). The temperature and pressure could continue to rise until the pressure exceeds the pressure capacity of the tank (300 psi). If this should happen, the super-heated water would boil and expand with explosive force, and the tank would burst. The super-heated water turns to steam and turns the water heater into an unguided missile. To prevent these catastrophic failures, water heaters are required to be protected for both excess temperature and pressure. Usually, the means of protection is a combination temperature- and pressure-relief valve (variously abbreviated as T&P, TPV, TPR, etc.). Most of these devices are set to operate at a water temperature above 200° F and/or a pressure above 150 psi. Do not attempt to test the TPR valve yourself! Most water heating systems should be serviced once a year as a part of an annual preventive maintenance inspection by a professional heating and cooling contractor. From Plumbing: Water Heater TPR Valves
WDO	WDO is an acronym for Wood Destroying Organisms. The most common types found in Northern California are the Drywood Termite, Subterranean Termite, Wood Boring Beetle and the Carpenter Ant. Dry rot or fungus damage are also WDO's that should be looked out for and are more common than termites. Together they cause billions worth of damage to persons and properties throughout the entire U.S. which is why a WDO inspection is so important.

GROUNDS

SERVICE WALKS/DRIVEWAYS

Spalling concrete cannot be patched with concrete because the new will not bond with the old. Water will freeze between the two layers, or the concrete will break up from movement or wear. Replacement of the damaged section is recommended. Walks or driveways that are close to the property should be properly pitched away to direct water away from the foundation. Asphalt driveways should be kept sealed and larger cracks filled so as to prevent damage from frost.

PATIOS

that have settled towards the structure should be mudjacked or replaced to assure proper pitch. Improperly pitched patios are one source of wet basements/crawlspaces.

All surfaces of untreated wood need regular applications of paint or special chemicals to resist damage. Porch or deck columns and fence posts which are buried in the ground and made of untreated wood will become damaged within a year or two.

Decks should always be nailed with galvanized, stainless steel or aluminum nails. Decks that are not painted or stained should be treated with a water sealer.

GRADING AND DRAINAGE

Any system of grading or landscaping that creates positive drainage (moving water away from the foundation walls) will help to keep a basement and crawlspace dry. Where negative grade exists and additional backfill is suggested, it may require digging out around the property to get a proper pitch. Dirt shall be approximately 6" below the bottom sill and should not touch wood surfaces.

Flower beds, loose mulched areas, railroad ties and other such landscaping items close to the foundation trap moisture and contribute to wet basements. To establish a positive grade, a proper slope away from the house is 1" per foot for approximately 5-6 feet. Recommend ground cover planting or grass up to foundation.

ROOF AND SURFACE WATER CONTROL

Roof and surface water must be controlled to maintain a dry basement and crawlspace. This means keeping gutters cleaned out and aligned, extending downspouts, installing splashblocks, and building up the grade so that roof and surface water is diverted away from the building.

WINDOW WELLS

The amount of water which enters a window well from falling rain is generally slight, but water will accumulate in window wells if the yard is improperly graded. Plastic window well covers are useful in keeping out leaves and debris.

RETAINING WALLS

Retaining walls deteriorate because of excessive pressure buildup behind them, generally due to water accumulation. Conditions can often be improved by excavating a trench behind the retaining wall and filling it with coarse gravel. Drain holes through the wall will then be able to relieve the water pressure.

Retaining walls sometime suffer from tree root pressure or from general movement of topsoil down the slope. Normally, these conditions require rebuilding the retaining wall.

RAILINGS

It is recommended that railings be installed for any stairway over 3 steps and porches over 30" for safety reasons. Balusters for porches, balconies, and stairs should be close enough to assure children cannot squeeze through.

DEFINITIONS

SATISFACTORY (Sat.) - Indicates the component is functionally consistent with its original purpose but may show signs of normal wear and tear and deterioration.

MARGINAL (Marg.) - Indicates the component will probably require repair or replacement anytime within five years.

POOR - Indicates the component will need repair or replacement now or in the very near future.

ROOF

Valleys and Flashings that are covered with shingles and/or tar or any other material are considered not visible and are not part of the inspection.

Tar and Gravel Roofs - This type of covering on a pitched roof requires ongoing annual maintenance. We recommend that a roofing contractor evaluate this type of roof. Infra-red photography is best used to determine areas of potential leaks.

Flat roofs are very vulnerable to leaking. It is very important to maintain proper drainage to prevent the ponding of water. We recommend that a roofing contractor evaluate this type of roof.

ROOF TYPE	LIFE EXPECTANCY	SPECIAL REMARKS
<i>Asphalt Shingles</i>	15-20 years	Used on nearly 80% of all residential roofs; requires little maintenance.
<i>Asphalt Multi-Thickness Shingles*</i>	20-30 years	Heavier and more durable than regular asphalt shingles.
<i>Asphalt Interlocking Shingles*</i>	15-25 years	Especially good in high-wind areas.
<i>Asphalt Rolls</i>	10 years	Used on low slope roofs.
<i>Built-up Roofing</i>	10-20 years	Used on low slope roofs; 2 to 3 times as costly as asphalt shingles.
<i>Wood Shingles*</i>	10-40 years ₁	Treat with preservative every 5 years to prevent decay.
<i>Clay Tiles*, Cement Tiles*</i>	20 + years 20 + years	Durable, fireproof, but not watertight, * requiring a good subsurface base.
<i>Slate Shingles*</i>	30-100 years ₂	Extremely durable, but brittle and expensive.
<i>Asbestos Cement Shingles*</i>	30-75 years	Durable, but brittle and difficult to repair.
<i>Metal Roofing</i>	15-40 + years	Comes in sheets & shingles; should be well grounded for protection from lightning; certain metals must be painted.
<i>Single Ply</i>	15-25 years	New material; not yet passed test of time.
<i>Membrane (mfr's claim) Polyurethane with Elastomeric Coating</i>	5-10 years ₁	Used on low slope roofs.

* Not recommended for use on low slope roof

₁ Depending on local conditions and proper installation

₂ Depending on quality of slate

Roof coverings should be visually checked in the spring and fall for any visible missing shingles, damaged coverings or other defects. Before re-roofing, the underside of the roof structure and roof sheathing should be inspected to determine that the roof structure can support the additional weight of the shingles.

Wood shakes and shingles will vary in aging, due to the quality of the material, installation, maintenance, and surrounding shade trees. Ventilation and drying of the wood material is critical in extending the life expectancy of the wood. Commercial preservatives are available on the market, which could be applied to wood to impede deterioration.

EXTERIOR

CHIMNEYS

Chimneys built of masonry will eventually need tuckpointing. A cracked chimney top that allows water and carbonic acid to get behind the surface brick/stone will accelerate the deterioration. Moisture will also deteriorate the clay flue liner. Periodic chimney cleaning will keep you apprised of the chimney's condition. The flashing around the chimney may need resealing and should be inspected every year or two. Fireplace chimneys should be inspected and evaluated by a chimney professional before using. Chimneys must be adequate height for proper drafting. Spark arrestors are recommended for a wood burning chimney, and chimney caps for fossil fuels. **Unlined Chimney** - should be re-evaluated by a chimney technician. Have flue cleaned and re-evaluated. The flue lining is covered with soot or creosote and no representation can be made as to the condition.

NOT EVALUATED

The flue was not evaluated due to inaccessibility such as roof pitch, cap, cleanout not accessible, etc.

CRICKET FLASHING

Small, sloped structure made of metal and designed to drain moisture away from a chimney. Usually placed at the back of a chimney.

GUTTERS AND DO

This is an extremely important element in basement/crawlspace dampness control. Keep gutters clean and downspout extensions in place (4' or more). Paint the inside of galvanized gutters, which will extend the life. Shortly after a rain or thaw in winter, look for leaks at seams in the gutters. These can be recaulked before they cause damage to fascia or soffit boards. If no gutters exist, it is recommended that they be added.

SIDING

Wood siding should not come in contact with the ground. The moisture will cause rotting to take place and can attract carpenter ants. See page 34 for siding that have known problems, but are not always recognizable. Brick and stone veneer must be monitored for loose or missing mortar. Some brick and stone are susceptible to spalling. This can be caused when moisture is trapped and a freeze/thaw situation occurs. There are products on the market that can be used to seal out the moisture. This holds true for brick and stone chimneys also. Metal siding will dent and scratch. Oxidation is a normal reaction in aluminum. There are good cleaners on the market and it is recommended that they be used occasionally. Metal siding can be painted.

EIFS This type of siding is a synthetic stucco and has experienced serious problems. It requires a certified EIFS inspector to determine condition.

DOORS AND WINDOWS

These can waste an enormous amount of energy. Maintain the caulking around the frames on the exterior. Check for drafts in the winter and improve the worst offenders first. Windows that have leaky storm windows will usually have a lot of sweating. Likewise, well-sealed storms that sweat indicate a leaky window. It is the tighter unit that will sweat (unless the home has excess humidity to begin with).

Wood that exhibits blistering or peeling paint should be examined for possible moisture sources: roof leaks, bad gutters, interior moisture from baths or laundry or from a poorly vented crawl space. Some paint problems have no logical explanation, but many are a symptom of an underlying problem. A freshly painted house may mask these symptoms, but after you have lived in the home for a year or two, look for localized paint blistering (peeling). It may be a clue.

New glazing will last longer if the raw wood is treated with boiled linseed oil prior to glazing. It prevents the wood from drawing the moisture out of the new glazing.

CAULKING

Many different types of caulk are available on the market today. Check with a paint or hardware store for the kind of application you need.

GARAGE/CARPORT

OVERHEAD DOOR OPENERS

We recommend that a separate electrical outlet be provided. Openers that do not have a **safety reverse** are considered a safety hazard. Small children and pets are especially vulnerable. We recommend the operating switches be set high enough so children cannot reach them. If a electric sensor is present, it should be tested occasionally to ensure it is working.

GARAGE SILL PLATES should be elevated or treated lumber should be used. If this is not the case, try to direct water away to prevent rotting.

BURNERS

Any appliance such as a water heater, furnace, etc. should have the flame a minimum of 18" above the floor. Any open flame less

INTERIOR

PLASTER ON WOOD LATH

Plaster on wood lath is an old technique and is no longer in general use. Wood lath shrinks with time and the nails rust and loosen. As a result, the plaster may become fragile and caution is needed in working with this type of plastering system. Sagging ceilings are best repaired by laminating drywall over the existing plaster and screwing it to the ceiling joists.

PLASTER ON GYPSUM LATH (ROCK LATH)

Plaster on gypsum lath will sometimes show the seams of the 16" wide gypsum lath, but this does not indicate a structural fault. The scalloping appearance can be leveled with drywall joint compound and fiberglass mesh joint tape or drywall can be laminated over the existing plaster on the ceiling.

WOOD FLOORING

Always attempt to clean wood floors first before making the decision to refinish the floor. Wax removers and other mild stripping agents plus a good waxing and buffing will usually produce satisfactory results. Mild bleaching agents help remove deep stains. Sanding removes some of the wood in the floor and can usually be done safely only once or twice in the life of the floor.

NAIL POPS

Drywall nail pops are due to normal expansion and contraction of the wood members to which the drywall is nailed and are usually of no structural significance.

CARPETING

Where carpeting has been installed, the materials and condition of the floor underneath cannot be determined.

APPLIANCES (If report indicated appliances were operated, the following applies) Dishwashers are tested to see if the motor operates and water sprays properly. Stoves are tested to see that burners are working and oven and broiler get hot. Timer and controls are not tested. Refrigerators are not tested. Most new Dishwashers have the drain line looped automatically and may not be visible on the day of inspection. It is essential for the dishwasher drain line to have an anti-siphon break to prevent backflow. A drain line loop or Dishwasher air gap should be installed if found to be missing. No representation is made to continued life expectancy of any appliance.

ASBESTOS AND OTHER HAZARDS

Asbestos fibers in some form are present in many homes, but are often not visible and cannot be identified without testing.

If there is reason to suspect that asbestos may be present and if it is of particular concern, a sample of the material in question may be removed and analyzed in a laboratory. However, detecting or inspecting for the presence or absence of asbestos is not a part of our inspection.

Also excluded from this inspection and report are the possible presence of, or danger from, radon gas, lead-based paint, urea formaldehyde, toxic or flammable chemicals and all other similar or potentially harmful substances and environmental hazards.

WINDOWS

A representative number of windows are inspected.

BATHROOM(S)

STALL SHOWER

The metal shower pan in a stall shower has a potential or probable life of 10-20 years depending on quality of the pan installed. Although a visible inspection is made to determine whether a shower pan is currently leaking, it cannot be stated with certainty that no defect is present or that one may not soon develop. Shower pan leaks often do not show except when the shower is in actual use.

CERAMIC TILE

Bathroom tile installed in a mortar bed is excellent. It is still necessary to keep the joint between the tile and the tub/shower caulked or sealed to prevent water spillage from leaking through and damaging the ceilings below.

Ceramic tile is often installed in mastic. It is important to keep the tile caulked or water will seep behind the tile and cause deterioration in the wallboard. Special attention should be paid to the area around faucets and other tile penetrations.

EXHAUST FANS

Bathrooms with a shower should have exhaust fans when possible. This helps to remove excess moisture from the room, preventing damage to the ceiling and walls and wood finishes. The exhaust fan should not be vented into the attic. The proper way to vent the fan(s) is to the outside. Running the vent pipe horizontally and venting into a gable end or soffit is preferred. Running the vent pipe vertically through the roof may cause condensation to run down the vent pipe, rusting the fan and damaging the wallboard. Insulating the vent pipe in the attic will help to reduce this problem.

SLOW DRAINS on sinks, tubs, and showers are usually due to build up of hair and soap scum. Most sink popups can be easily removed for cleaning. Some tubs have a spring attached to the closing lever that acts as a catch for hair. It may require removing a couple of screws to disassemble. If you cannot mechanically remove the obstruction, be kind to your pipes. ***Don't use a caustic cleaner.*** There are several bacteria drain cleaners available. They are available at hardware stores in areas where septic tanks are used. These drain cleaners take a little longer to work, but are safe for you and your pipes.

SAFETY HAZARDS

Typical safety hazards found in bathrooms are open grounds or reverse polarity by water. Replacing these outlets with G.F.C.I.'s are recommended. (See page 28)

WHIRLPOOL TUBS

This relates to interior tubs hooked up to interior plumbing. Where possible, the motor will be operated to see that the jets are working. Hot tubs and spas are not inspected.

INTERIOR

DOOR STOPS

All swinging doors should be checked for door stops. Broken or missing door stops can result in door knobs breaking through drywall or plaster.

CLOSET GUIDES

Sliding closet doors should be checked to see that closet guides are in place. Missing or broken closet guides can cause scratches and damage to doors.

COLD AIR RETURNS

Bedrooms that do not have cold air returns in them should have a 3/4" gap under the doors to allow cold air to be drawn into the hall return.

AN INSPECTION VERSUS A WARRANTY

A home inspection is just what the name indicates, an inspection of a home...usually a home that is being purchased. The purpose of the inspection is to determine the condition of the various systems and structures of the home. While an inspection performed by a competent inspection company will determine the condition of the major components of the home, no inspection will pick up every minute latent defect. The inspector's ability to find all defects is limited by access to various parts of the property, lack of information about the property and many other factors. A good inspector will do his or her level best to determine the condition of the home and to report it accurately. The report that is issued is an opinion as to the condition of the home. This opinion is arrived at by the best technical methods available to the home inspection industry. It is still only an opinion.

A warranty is a policy sold to the buyer that warrants that specific items in the home are in sound condition and will remain in sound condition for a specified period of time. Typically, the warranty company never inspects the home. The warranty company uses actuarial tables to determine the expected life of the warranted items and charges the customer a fee for the warranty that will hopefully cover any projected loss and make a profit for the warranty seller. It is essentially an insurance policy.

The service that we have provided you is an inspection. We make no warranty of this property. If you desire warranty coverage, please see your real estate agent for details about any warranty plan to which their firm may have access.

INTERIOR

WINDOW FRAMES AND SILLS

Window frames and sills are often found to have surface deterioration due to condensation that has run off the window and damaged the varnish. Usually this can be repaired with a solvent style refinisher and fine steel wool. This is sometimes a sign of excess humidity in the house. See comments regarding caulking doors and windows, page 8.

FIREPLACES

It is important that a fireplace be cleaned on a routine basis to prevent the buildup of creosote in the flue, which can cause a chimney fire. Masonry fireplace chimneys are normally required to have a terra cotta flue liner or 8 inches of masonry surrounding each flue in order to be considered safe and to conform with most building codes. During visual inspections, it is not uncommon to be unable to detect the absence of a flue liner either because of stoppage at the firebox, a defective damper or lack of access from the roof.

WOODBURNERS

Once installed, it can be difficult to determine proper clearances for woodburning stoves. Manufacturer specifications, which are not usually available to the inspector, determine the proper installation. We recommend you ask the owner for paperwork, verifying that it was installed by a professional contractor.

VENTILATION

Ventilation is recommended at the rate of one square foot of vent area to 300 square feet of attic floor space, this being divided between soffit and rooftop. Power vents should ideally have both a humidistat and a thermostat, since ventilation is needed to remove winter moisture as well as summer heat. Evidence of condensation such as blackened roof sheathing, frost on nail heads, etc. is an indication that ventilation may have been or is blocked or inadequate.

INSULATION

The recommended insulation in the attic area is R-38, approximately 12". If insulation is added, it is important that the ventilation is proper.

SMOKE DETECTORS

Smoke detectors should be tested monthly. At least one detector should be on each level. CO detectors are not required by most states, but for safety reasons, are highly recommended.

VAPOR BARRIERS

The vapor barrier should be on the warm side of the surface. Most older homes were built without vapor barriers. If the vapor barrier is towards the cold side of the surface, it should be sliced or removed. Most vapor barriers in the attic are covered by insulation and therefore, not visible.

SAFETY GLAZING

Safety glazing requirements vary depending on the age of the home. Every attempt is made to identify areas where the lack of safety glazing presents an immediate safety hazard, such as a shower door. In some older homes it is difficult to determine if safety glazing is present, since the glass is not marked. Therefore, no representation is made that safety glazing exists in all appropriate areas.

INSULATED GLASS

Broken seal in thermopane/insulated windows are not always visible nor detectible due to humidity and temperature changes during the day. Other factors such as window covering, dirty windows, and lack of accessibility, personal property placed in front of the windows all affect the view of the windows at the time of the inspection.

BASEMENT

BASEMENT/CRAWLSPACE

Any basement/crawlspace that has cracks or leaks is technically considered to have failed. Most block basements/crawlspace have step cracks in various areas. If little or no movement has occurred and the step cracks are uniform, this is considered acceptable. Horizontal cracks in the third or fourth block down indicate the block has moved due to outside pressure. They can be attributed to many factors such as improper grading, improperly functioning gutter and downspout system, etc. Normally if little or no movement has taken place and proper grading and downspouts exist, this is considered acceptable. If the wall containing the stress crack(s) has moved considerably, this will require some method of reinforcement. Basements/crawlspace that have been freshly painted or tuckpointed should be monitored for movement. This will be indicated by cracks reopening. If cracks reappear, reinforcement may be necessary. Reinforcing a basement/crawlspace wall can become expensive.

FOUNDATION (COVERED WALLS)

Although an effort has been made to note any major inflections or weaknesses, it is difficult at best to detect these areas when walls are finished off, or basement/crawlspace storage makes areas inaccessible. **No representation is made as to the condition of these walls.**

INSULATED CONCRETE FORMS (ICF'S) are formwork for concrete that stays in place as permanent building insulation for energy-efficient, cast-in-place, reinforced concrete walls, floors and roofs.

MONITOR indicates that the walls have stress cracks, but little movement has occurred. In our opinion, the cracks should be filled with mortar and the walls monitored for further movement and cracking. If additional movement or cracking occurs, reinforcement may be necessary.

HAVE EVALUATED We recommend that the walls be re-evaluated by a structural engineer or basement/crawlspace repair company and estimates be obtained if work is required.

VAPOR BARRIER

Floors that are dirt or gravel should be covered with a vapor barrier.

MOISTURE PRESENT

Basement/crawlspace dampness is frequently noted in houses and in most cases the stains, moisture or efflorescence present is a symptom denoting that a problem exists outside the home. Usual causes are improper downspout extensions or leaking gutters and/or low or improper grade (including concrete surfaces) at the perimeter of the house. A proper slope away from the house is one inch per foot for four to six feet. Expensive solutions to basement/crawlspace dampness are frequently offered. It is possible to spend thousands of dollars on solutions such as pumping out water that has already entered or pumping of chemical preparations into the ground around the house, when all that may be necessary are a few common sense solutions at the exterior perimeter. However, this is not intended to be an exhaustive list of causes and solutions to the presence of moisture.

No repre-sentation is made to future moisture that may appear.

PALMER VALVE

Many older homes have a valve in the floor drain. This drain needs to remain operational.

DRAIN TILE

We offer no opinion about the existence or condition of the drain tile, as it cannot be visibly inspected.

BASEMENT ELECTRICAL OUTLETS

We recommend that you have an outlet within 6' of each appliance. The appliance you plan to install may be different than what exists, therefore the inspection includes testing a representative number of receptacles that exist. It is also recommended to have ground fault circuit interrupts for any outlet in the unfinished part of the basement and crawl spaces.

BASEMENT/CRAWL SPACE

CRAWL SPACES

Crawl spaces are shallow spaces between the first level floor joist and the ground. Access to this area may be from the inside, outside or not accessible at all. Ductwork, plumbing, and electrical may be installed in the space in which access may be necessary. The floor of the crawl space may be covered with concrete, gravel, or may be the original soil. A vapor barrier may be a sheet of plastic or tar paper and installed over or under this material. The vapor barrier will deter the moisture from the earth from escaping into the crawl space and causing a musty smell. Ventilation is also important to control excess moisture buildup. Vents may be located on the outside of the house and are normally kept open in the summer and closed for the winter (where freezing may occur). The basement/crawl space diagram indicates areas that are covered and not part of a visual inspection. Every attempt is made to determine if paneling is warped, moisture stains are bleeding through, etc. Storage that blocks the visibility of a wall is not removed to examine that area. Therefore, it is important that on your walk-through before closing, you closely examine these areas. Closed crawl spaces that have vents to the outside should have insulation under the floor above the crawl space.

HAVE EVALUATED

We recommend that the walls be re-evaluated by a structural engineer or basement repair company and estimates be obtained if work is required.

MONITOR

Indicates that the walls have stress cracks, but little movement has occurred. In our opinion, the cracks should be filled with mortar and the walls monitored for further movement and cracking. If additional movement or cracking occurs, reinforcement may be necessary.

FOUNDATION (COVERED WALLS)

Although an effort has been made to note any major inflections or weaknesses, it is difficult at best to detect these areas when walls are finished off, or basement/crawlspace storage makes areas inaccessible. **No representation is made as to the condition of these walls.**

MOISTURE PRESENT

Basement/crawlspace dampness is frequently noted in houses and in most cases the stains, moisture or efflorescence present is a symptom denoting that a problem exists outside the home. Usual causes are improper downspout extensions or leaking gutters and/or low or improper grade (including concrete surfaces) at the perimeter of the house. A proper slope away from the house is one inch per foot for four to six feet. Expensive solutions to basement/crawlspace dampness are frequently offered. It is possible to spend thousands of dollars on solutions such as pumping out water that has already entered or pumping of chemical preparations into the ground around the house, when all that may be necessary are a few common sense solutions at the exterior perimeter. However, this is not intended to be an exhaustive list of causes and solutions to the presence of moisture.

No repre-sentation is made to future moisture that may appear.

PLUMBING

WELLS

Examination of wells is not included in this visual inspection. It is recommended that you have well water checked for purity by the local health authorities and, if possible, a check on the flow of the well in periods of drought. A well pit should have a locked cover on it to prevent anyone from falling into the pit.

SEPTIC SYSTEMS

The check of septic systems is not included in our visual inspection. You should have the local health authorities or other qualified experts check the condition of the septic system. In order for the septic system to be checked, the house must have been occupied within the last 30 days.

WATER PIPES

Galvanized water pipes rust from the inside out and may have to be replaced within 20 to 30 years. This is usually done in two stages: horizontal piping in the basement first, and vertical pipes throughout the house later as needed. Copper pipes usually have more life expectancy and may last as long as 60 years before needing to be replaced.

HOSE BIBS

During the winter months it is necessary to make sure the outside faucets are winterized. This can be done by means of a valve located in the basement. Leave the outside faucets open to allow any water standing in the pipes to drain, preventing them from freezing. Hose bibs cannot be tested when winterized.

WATER HEATER

The life expectancy of a water heater is 5-10 years. Water heaters generally need not be replaced unless they leak. It is a good maintenance practice to drain 5-10 gallons from the heater several times a year. Missing relief valves or improper extension present a safety hazard.

WATER SOFTENERS

During a visual inspection it is not possible to determine if water is being properly softened.

PLUMBING

The temperature/pressure valve should be tested several times a year by lifting the valve's handle. Caution: very hot water will be discharged. If no water comes out, the valve is defective and must be replaced.

SHUT-OFF VALVES

Most shut-off valves have not been operated for long periods of time. We recommend operating each shut-off valve to: toilet bowl, water heater, under sinks, main shut-off, hose faucets, and all others. We recommend you have a plumber do this, as some of the valves may need to be repacked or replaced. Once the valves are in proper operating order, we recommend opening and closing these valves several times a year.

POLYBUTYLENE PIPING

This type of piping has a history of problems and should be examined by a licensed plumber and repaired or replaced as necessary.

MECHANICAL DEVICES MAY OPERATE AT ONE MOMENT AND LATER MALFUNCTION; THEREFORE, LIABILITY IS SPECIFICALLY LIMITED TO THOSE SITUATIONS WHERE IT CAN BE CONCLUSIVELY SHOWN THAT THE MECHANICAL DEVICE INSPECTED WAS INOPERABLE OR IN THE IMMEDIATE NEED OF REPAIR OR NOT PERFORMING THE FUNCTION FOR WHICH IS IT WAS INTENDED AT THE TIME OF INSPECTION.

CSST

Corrugated Stainless Steel Tubing is an alternative to traditional black iron gas piping. It is a continuous, flexible, stainless steel pipe with an exterior PVC covering.

HEATING SYSTEM

HEATING AND AIR CONDITIONING units have limited lives. Normal lives are:

GAS-FIRED HOT AIR	15-25 years
OIL-FIRED HOT AIR	20-30 years
CAST IRON BOILER	30-50 years
(Hot water or steam) or more	
STEEL BOILER	30-40 years
(Hot water or steam) or more	
COPPER BOILER	10-20 years
(Hot water or steam)	
CIRCULATING PUMP (Hot water)	10-15 years
AIR CONDITIONING COMPRESSOR . . .	8-12 years
HEAT PUMP	8-12 years

Gas-fired hot air units that are close to or beyond their normal lives have the potential of becoming a source of carbon monoxide in the home. You may want to have such a unit checked every year or so to assure yourself that it is still intact. Of course a unit of such an age is a good candidate for replacement with one of the new, high efficiency furnaces. The fuel savings alone can be very attractive.

Boilers and their systems may require annual attention. If you are not familiar with your system, have a heating contractor come out in the fall to show you how to do the necessary thing **Caution: do not add water to a hot boiler!**

Forced air systems should have filters changed every 30 to 60 days of the heating and cooling season. This is especially true if you have central air conditioning. A dirty air system can lead to premature failure of your compressor - a \$1,500 machine.

Oil-fired furnaces and boilers should be serviced by a professional each year. Most experts agree you will pay for the service cost in fuel saved by having a properly tuned burner.

Read the instructions for maintaining the humidifier on your furnace. A malfunctioning humidifier can rust out a furnace rather quickly. It is recommended that the humidifier be serviced at the same time as the furnace, and be cleaned regularly. **During a visual inspection it is not possible to determine if the humidifier is working.**

Have HVAC technician examine - A condition was found that suggests a heating contractor should do a further analysis. We suggest doing this before closing.

Heat exchangers cannot be examined nor their condition determined without being disassembled. Since this is not possible during a visual, non-technically exhaustive inspection, you may want to obtain a service contract on the unit or contact a furnace technician regarding a more thorough examination.

Testing pilot safety switch requires blowing out the pilot light. Checking safety limit controls requires disconnecting blower motor or using other means beyond the scope of this inspection. If the furnace has not been serviced in last 12 months you may want to have a furnace technician examine.

CO Test - This is not part of a non-technical inspection. If a test was performed, the type of tester is indicated on page 27.

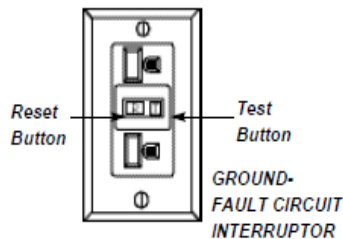
Combustible Gas Detector - If a gas detector was used during the inspection of the furnace and evidence of possible combustible gases was noted, we caution you that our test instrument is sensitive to many gases and not a foolproof test. None-the-less, this presents the possibility that a hazard exists and could indicate that the heat exchanger is, or will soon be, defective.

EXTERIOR

Every effort has been made to evaluate the size of the service. Three wires going into the home indicate 240 volts. The total amperage can be difficult to determine. We highly recommend that ground fault circuit interrupters (G.F.C.I.) be connected to all outlets around water. This device automatically shuts the circuit off when it senses a current leak to ground. This device can be purchased in most hardware stores. G.F.C.I.'s are recommended by all outlets located near water, outside outlets, or garage outlets. Pool outlets should also be protected with a G.F.C.I.

See diagram below:

If you do have G.F.C.I.'s, it is recommended that you test (and reset) them monthly. When you push the test button, the reset button should pop out, shutting off the circuit. If it doesn't, the breaker is not working properly. If you don't test them once a month, the breakers have a tendency to stick and may not protect you when needed.



Knob and tube wiring found in older homes should be checked by an electrician to insure that the wire cover is in good condition. Under no circumstances should this wire be covered with insulation. Recess light fixtures should have a baffle around them so that they are not covered with insulation. The newer recessed fixtures will shut off if they overheat. (no representation is made as to proper recess lighting fixtures).

Federal Pacific Stab-Lok® Electrical panels may be unsafe. See www.google.com (Federal Pacific)

Aluminum wiring in general lighting circuits has a history of over heating, with the potential of a fire. If this type of wiring exists, a licensed electrical contractor should examine the whole system.

ARC FAULTS

In some areas arc faults are required for bedrooms in new homes starting in 2002. In some areas arc faults are required for all 120 Volt circuits that are not GFCI protected in new homes starting in 2009. Upgrade as desired for enhanced safety.

REVERSE POLARITY

A common problem that surfaces in many homes is reverse polarity. This is a potentially hazardous situation in which the hot and neutral wires of a circuit are reversed at the outlet, thereby allowing the appliance to be incorrectly connected. This is an inexpensive item to correct.

Each receptacle has a brass and silver screw. The black wire should be wired to the brass screw and the white wire should go to the silver screw. When these wires are switched, this is called "reverse polarity." Turning off the power and switching these wires will correct the problem.

Main service wiring for housing is typically 240 volts. The minimum capacity for newer homes is 100 amps though many older homes still have 60 amp service. Larger homes or all electric homes will likely have a 200 amp service.

Main service wiring may be protected by one or more circuit breakers or fuses. While most areas allow up to six main turnoffs, expanding from these panels is generally not allowed.

COOLING

Testing A/C System and Heat Pump- The circuit breakers to A/C should be on for a minimum of 24 hours and the outside temperature at least 60 degrees for the past 24 hours or an A/C system cannot be operated without possible damage to the compressor. Check the instructions in your A/C manual or on the outside compressor before starting up in the summer. Heat pump can only be tested in the mode it's running in. Outside temperature should be at least 65° for the past 24 hours to run in cooling mode.

Temperature differential, between 14°-22°, is usually acceptable. If out of this range, have an HVAC contractor examine it. It is not always feasible to do a differential test due to high humidity, low outside temperature, etc.

A/C CONDENSER COIL They should not become overgrown with foliage. Clearance requirements vary, but 2' on all sides should be considered minimal with up to 6' of air discharge desirable. If a clothes dryer vent is within five to ten feet, either relocate the vent or do not run when the A/C is running. The lint will quickly reduce the efficiency of the A/C unit.

COSTS OF REMODELING OR REPAIR

PREVENTIVE MAINTENANCE TIPS

I. FOUNDATION and MASONRY: Basements, Exterior Walls: To prevent seepage and condensation problems.

- a. Check basement for dampness and leakage after wet weather.
- b. Check chimneys, deteriorated chimney caps, loose and missing mortar.
- c. Maintain grading sloped away from foundation walls.

II. ROOFS, GUTTERS, and EAVESTROUGH: To prevent roof leaks, condensation, seepage, and decay problems.

- a. Check for damaged, loose or missing shingles, blisters.
- b. Clean gutters, leaders, strainers, window wells, drains. Be sure downspouts direct water away from foundation. Cut back tree limbs.
- c. Check flashings around roof stacks, vents, skylights, chimneys, as sources of leakage. Check vents, louvers and chimneys for birds nests, squirrels, insects.
- d. Check fascias and soffits for paint flaking, leakage and decay.

III. EXTERIOR WALLS: To prevent paint failure, decay, and moisture penetration problems.

- a. Check painted surface for paint flaking or paint failure. Cut back shrubs.
- b. Check exterior masonry walls for cracks, looseness, missing or broken mortar.

IV. DOORS AND WINDOWS: To prevent air and weather penetration problems.

- a. Check caulking for decay around doors, windows, corner boards, joints. Recaulk and weatherstrip as needed. Check glazing, putty around windows.

V. ELECTRICAL: For safe electrical performance, mark and label each circuit.

- a. Trip circuit breakers every six months and ground fault circuit interrupters (G.F.C.I.) monthly.
- b. Check condition of lamp cords, extension cords and plugs. Replace at first sign of wear and damage.
- c. Check exposed wiring and cable for wear or damage.
- d. If you experience slight tingling shock from handling or touching any appliance, disconnect the appliance and have it repaired. If lights flicker or dim, or if appliances go on and off unnecessarily, call a licensed electrician.

VI. PLUMBING: For preventive maintenance.

- a. Drain exterior water lines, hose bibbs, sprinklers, pool equipment in the fall.
- b. Draw off sediment in water heaters monthly or per manufacturer's instructions.
- c. Have septic tank cleaned every 2 years.

VII. HEATING and COOLING: For comfort, efficiency, energy conservation and safety.

- a. Change or clean furnace filters, air condition filters, electronic filters as needed.
- b. Clean and service humidifier. Check periodically and annually.
- c. Have oil burning equipment serviced annually.

VIII. INTERIOR: General house maintenance.

- a. Check bathroom tile joints, tub grouting and caulking. Be sure all tile joints in bathrooms are kept well sealed with tile grout to prevent damage to walls, floors and ceilings below.
- b. Close crawl vents in winter and open in summer.
- c. Check underside of roof for water stains, leaks, dampness & condensation, particularly in attics and around chimneys.

IX. Know the location of:

- Main water shutoff valve.
- Main emergency shutoff switch for the heating system.
- Main electrical disconnect or breaker.